

## CERTIFICATE AS TO RESOLUTION AND ADOPTING VOTE

I, the undersigned, being the duly qualified and acting recording officer of the City of Billings, Montana (the City), hereby certify that the attached resolution is a true copy of Resolution No. 00-17542, entitled: **RESOLUTION RELATING TO SPECIAL IMPROVEMENT DISTRICT NO. 1344; DECLARING IT TO BE THE INTENTION OF THE CITY COUNCIL TO CREATE THE DISTRICT FOR THE PURPOSE OF UNDERTAKING CERTAIN LOCAL IMPROVEMENTS AND FINANCING THE COSTS THEREOF AND INCIDENTAL THERETO THROUGH THE ISSUANCE OF SPECIAL IMPROVEMENT DISTRICT BONDS SECURED BY THE CITY'S SPECIAL IMPROVEMENT DISTRICT REVOLVING FUND** (the Resolution" was duly adopted by the City Council of the City at a meeting on March 13, 2000, and that the meeting was duly held by the City Council and was attended throughout by a quorum, pursuant to call and notice of such meeting given as required by law; and that the Resolution has not as of the date hereof been amended or repealed.)

I further certify that, upon vote being taken on the Resolution at said meeting, the following Councilmembers voted in favor thereof: Unanimous

voted against the same: None

or were absent: Iverson

WITNESS my hand officially this 13<sup>th</sup> day of March, 2000.



Colleen R. Schell-Berg Deputy City Clerk  
Marita Herold, CMC      City Clerk

RESOLUTION NO. 00-17542

RESOLUTION RELATING TO SPECIAL IMPROVEMENT DISTRICT NO. 1344; DECLARING IT TO BE THE INTENTION OF THE CITY COUNCIL TO CREATE THE DISTRICT FOR THE PURPOSE OF UNDERTAKING CERTAIN LOCAL IMPROVEMENTS AND FINANCING THE COSTS THEREOF AND INCIDENTAL THERETO THROUGH THE ISSUANCE OF SPECIAL IMPROVEMENT DISTRICT BONDS SECURED BY THE CITY'S SPECIAL IMPROVEMENT DISTRICT REVOLVING FUND

BE IT RESOLVED by the City Council of the City of Billings (the City), Montana, as follows:

**Section 1. Proposed Improvements; Intention To Create District.** The City proposes to undertake certain local improvements (the "Improvements") to benefit certain property located in the City. The Improvements consist of providing Sanitary Sewer Service to Kissee Subdivision, Blocks 1 and 2; Byrnes-Stephens Subdivision, Blocks 1,2, and 3; Balcher Acres, Lots 1 through 6 and Lots 9 and 10; Certificate of Survey 480, Tracts A and B; Lot 7 in the NE ¼ of Section 9, T1S, R26E; and Lot 10 in the NE ¼ of Section 9, T1S, R26E, as more particularly described in Section 5 and also defined as the "Assessable Area". The total estimated costs of the Improvements are \$664,700. As used herein, the costs of the Improvements shall include the costs of construction and contingency, engineering, testing, and construction administration. The costs of the Improvements are to be paid from the following sources: (1) Special Improvement District bonds hereinafter described; and (2) \$70,099.37 of cash contribution by Vernon Drake, the owner of Lot 7 in the NE ¼ of Section 9, T1S, R26E; and Lot 10 in the NE ¼ of Section 9, T1S, R26E. It is the intention of this Council to create and establish in the City under Montana Code Annotated, Title 7, Chapter 12, Parts 41 and 42, as amended, a Special Improvement District (the "District") for the purpose of financing costs of the Improvements and paying costs incidental thereto, including costs associated with the sale and the security of Special Improvement District bonds drawn on the District (the "Bonds"), the creation and administration of the District, the funding of a deposit to the City's Special Improvement District Revolving Fund (the "Revolving Fund"). The total estimated costs of the Improvements, including such incidental costs, to be financed by the Bonds are \$692,000. The Bonds are to be payable primarily from special assessments to be levied against property in the District, which property will be specially benefited by the Improvements in an amount not less than \$762,099.37.

**Section 2. Number of District.** The District, if the same shall be created and established, shall be known and designated as Special Improvement District No. 1344 of the City of Billings, Montana.

**Section 3. Boundaries of District.** The limits and boundaries of the District are depicted on a map attached as Exhibit B hereto (which is hereby incorporated herein and made a part hereof) and more particularly described on Exhibit C hereto (which is hereby incorporated herein and made a part hereof), which boundaries are designated and confirmed as the boundaries of the District. A listing of each of the properties in the District is shown on Exhibit D hereto (which are hereby incorporated herein and made a part hereof).

**Section 4. Benefited Property.** The District and territory included within the limits and boundaries described in Section 3 and as shown on Exhibits B, C, and D are hereby declared to be the Special Improvement District and the territory which will benefit and be benefited by the Improvements and will be assessed for the costs of the Improvements as described in Section 7. The property included within said limits and boundaries is hereby declared to be the property benefited by the Improvements.

**Section 5. General Character of the Improvements.** The general character of the Improvements is to provide the following Improvements and is set forth in Exhibit E:

Installation of a sanitary sewer collection main and service lines serving Balcher Acres and Lots 7 and 10 in the NE ¼ of Section 9, T1S, R26E in Hallowell Lane.

Installation of sanitary sewer laterals and service lines serving Kissee Subdivision, Blocks 1 and 2; Byrnes-Stephens Subdivision, Blocks 1,2, and 3 in the alleys of these subdivisions.

**Section 6. Engineer and Estimated Cost.** Interstate Engineering, Inc.; P.O. Box 30215; Billings, MT 591087, shall be the engineer for the District. The Engineer has estimated that the costs of the Improvements, including all incidental costs, is \$762,099.37. Vernon Drake will make a cash contribution to the project in the amount of \$70,099.37 as described in Section 9(f). The remaining costs of \$692,000.00, which includes costs associated with the sale of Bonds and other incidental costs, will be financed by the sale of the Bonds as described in Section 1 and assessments to pay the Bonds will be levied against the remaining parcels in the District as shown in Exhibit D (which is attached hereto and incorporated herein) and as more fully explained in Section 7.

## **Section 7. Assessment Methods.**

**7.1. Property to be Assessed.** All properties within the district are to be assessed for the costs of the Improvements, as specified herein. The costs of the Improvements shall be assessed against the property in the District benefiting from the Improvements based on the area methods described in Section 7-12-4162, M.C.A., as particularly applied and set forth in this Section 7.

**7.1.1 Actual Area.** All properties in the District will be assessed for their proportionate share of the costs of the Improvements. All properties in the District shown on Exhibit D will be assessed for the installation of a sanitary sewer collection main in Hallowell Drive. The total estimated cost of the installation of a sanitary sewer collection main in Hallowell Drive is \$317,099.37. Vernon Drake will make a cash contribution of \$70,099.37 which represents a cash contribution toward the costs of Improvements for Lot 10 in the NE ¼ of Section 9, T1S, R26E.

The costs of the Improvements attributable to the remaining parcels in the District not making a cash contribution to the cost of the Improvements, shall consist of the full cost of the Improvements assessable against each lot for a total of \$210,268.69, plus the proportionate share of the incidental costs of issuing the Bonds (\$36,731.31). The total of \$247,000.00 shall be assessed against each lot, tract, or parcel of land in the District for that part of the costs of the Improvements that the actual area of such lot, tract or parcel bears to the total actual area of all lots, tracts, or parcels of land in the District, exclusive of Lot 10 in the NE ¼ of Section 9, T1S, R26E, streets, avenues, and alleys. The total actual area of lots to be assessed is 1,304,559 square feet. The costs of the Improvements and the properties share of the incidental costs to be financed by the Bonds assessable to the District parcels excluding Lot 10 in the NE ¼ of Section 9, T1S, R26E per square foot of actual area shall not exceed a total of \$0.189336. The assessment for each of the parcels for the Improvements is shown on Exhibit D.

**7.1.2 Lump Sum – Utility Service Connections.** Each lot, tract or parcel of land in Kissee Subdivision, Blocks 1 and 2; Byrnes-Stephens Subdivision, Blocks 1,2, and 3 receiving a sanitary sewer connection will be assessed for their proportionate share of the costs of the Improvements.

Each lot, tract or parcel of land in Kissee Subdivision, Blocks 1 and 2; Byrnes-Stephens Subdivision, Blocks 1,2, and 3 will be assessed for the installation of sanitary sewer laterals and service lines serving the subdivisions. The total cost is \$445,000.00 and shall be assessed against each lot, tract, or parcel of land within Kissee Subdivision and Byrnes-Stephens Subdivision on a lump sum basis based on the bid price to be received. The lump sum assessment will not exceed \$8,557.69 per connection.

**7.2. Assessment Methodologies Equitable and Consistent With Benefit.** This Council hereby determines that the methods of assessment and the assessment of costs of the specific improvements against the properties benefited thereby as prescribed in this Section 7 are equitable in proportion to and not exceeding the special benefits derived from the respective improvements by the lots, tracts, and parcels to be assessed therefore within the District.

**Section 8. Payment of Assessments.** The special assessments for the costs of the Improvements shall be payable over a term not exceeding 15 years, each in equal semiannual installments of principal, plus interest, or equal semiannual payments of principal and interest, as this Council shall prescribe in the resolution authorizing the issuance of the Bonds. Property Owners have the right to prepay assessments as provided by law. Further, all owners shall have the opportunity to prepay their assessments prior to sale of the SID bonds.

**Section 9. Method of Financing; Pledge of Revolving Fund; Findings and Determinations.** The City will issue the Bonds in an aggregate principal amount not to exceed \$692,000 in order to finance the costs of the Improvements. Principal of and interest on the Bonds will be paid from special assessments levied against the properties in the District. This Council further finds it is in the public interest, and in the best interest of the City and the District, to secure payment of principal of and interest on the Bonds by the Revolving Fund and hereby authorizes the city to enter into the undertakings and agreements authorized in Section 7-12-4225 in respect of the Bonds.

In determining to authorize such undertakings and agreements, this Council has taken into consideration the following factors:

(a) **Estimated Market Value of Parcels.** The estimated market value of the lots, parcels, or tracts in the District as of the date of adoption of this resolution, as estimated, by the County Assessor for property tax purposes ranges from \$332 to \$90,792, and is set forth in Exhibit E. The average market value is \$47,957.36 with the median being \$49,051.00. The parcels of land that have tax codes of D-1604 and D-1610 are both 10 acre parcels that are currently unplatte and vacant. The owner of these parcels is making a cash contribution of \$70,099.37 representing the assessment for the parcel land with the tax code of D-1610. The owner of these parcels is interested in selling both parcels of land and feels they would be more marketable with the addition of sanitary sewer. Currently, a church is interested in buying one of the parcels and has gone through a special review and been approved by the City Council. The estimated market value of the lots, parcels, or tracts after the Improvements have been completed as estimated by the Engineer based on the current market values of the properties for property tax purposes, will increase as a result of the Improvements in an amount not less than the amount of proposed assessment of each lot, tract, or parcel of land. The special assessments to be levied under Section 7 against each lot, parcel, or tract in the District is less than the increase in estimated value of the lot, parcel, or tract as a result of the construction of the Improvements.

(b) **Diversity of Property Ownership.** There are 61 parcels to be assessed within the District. Of the 61 parcels, three different property owners own 6 parcels. The remaining 55 properties are owned by a wide variety of property owners.

(c) **Comparison of Special Assessments and Property Taxes and Market Value.** Based on an analysis of the aggregate amount of the proposed, any outstanding special assessments (whether or not delinquent), and any delinquent property taxes (as well as any known industrial development bonds theretofore issued and secured by a mortgage against a parcel in the District) against each lot, parcel, or tract in the District in comparison to the estimated market value of such lot, parcel, or tract after the Improvements, the City concludes that, overall, the estimated market value of the lots, tracts, or parcels of land in the District exceeds the sum of special assessments, delinquent property taxes, and current assessments and is set forth in Exhibit D.

(d) **Delinquencies.** An analysis of the amount of delinquencies in the payment of outstanding special assessments or property taxes levied against the properties in the District shows that of 61 properties, one property is delinquent and is set forth in Exhibit D. This accounts for approximately 1.6% of the total properties in the District. The delinquency is in the amount of \$956.62.

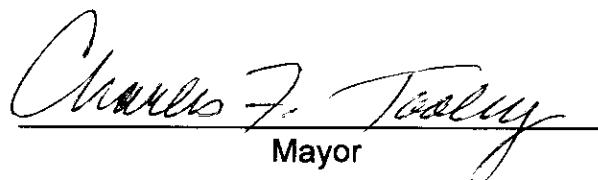
(e) **The Public Benefit of the Improvements.** The total estimated cost of installing these public improvements is \$762,099.37, the full cost of which would be recovered through direct assessments to property owners within the District and a cash contribution of \$70,099.37. The public improvements contemplated under the terms of this proposed District include the installation of sanitary sewer improvements to serve existing residential lots in the Kissee Subdivision, Blocks 1 and 2; Byrnes-Stephens Subdivision, Blocks 1,2, and 3; Balcher Acres, Lots 1 through 6 and Lots 9 and 10; Certificate of Survey 480, Tracts A and B; and Lots 7 and 10 in the NE ¼ of Section 9, T1S, R26E. These residences are presently on septic and drainfield systems. Many of the existing septic systems have failed and are on lots that are not of sufficient size to support replacement systems.

(f) **Other Factors.** As previously noted, Vernon Drake, owner of Lots 7 and 10 in the NE ¼ of Section 9, T1S, R26E, will pay a cash contribution to the project. The total cash contribution is equal to \$70,099.37 and represents 50 percent of the construction and administrative costs of the improvements to Lots 7 and 10 in the NE ¼ of Section 9, T1S, R26E. This condition is necessary to satisfy the City's Special Improvement District Policy regarding raw land subdivision.

**Section 10. Public Hearing Protests.** At any time within fifteen (15) days from and after the date of the first publication of the notice of the passage and approval of this resolution, any owner of real property within the District subject to assessment and taxation for the cost and expense of making the improvements may make and file with the City Clerk until 5:00 p.m., M.T., on the expiration date of said 15-day period (April 7, 2000), written protest against the proposed improvements, or against the extension or creation of the District or both, and this Council will at its next regular meeting after the expiration of the fifteen (15) days in which such protests in writing can be made and filed, proceed to hear all such protests so made and filed; which said, regular meeting will be held on Monday the 10<sup>th</sup> day of April 2000, at 7:30 p.m., in the Council Chambers, at 220 North 27<sup>th</sup> Street, in Billings, Montana.

**Section 11. Notice of Passage of Resolution of Intention.** The City Clerk is hereby authorized and directed to publish or cause to be published a copy of a notice of the passage of this resolution in the Billings Times, a newspaper of general circulation in the county on March 23 and March 30, 2000, in the form and manner prescribed by law, and to mail or cause to be mailed a copy of said notice to every person, firm, corporation, or the agent of such person, firm, or corporation having real property within the District listed in his or her name upon the last completed assessment roll for state, county, and school district taxes, at his last-known address, on or before the same day such notice is first published.

PASSED AND ADOPTED by the City Council of the City of Billings, Montana, this 13<sup>th</sup> day of March 2000.

  
\_\_\_\_\_  
Charles F. Tisley  
Mayor

Attest:

  
\_\_\_\_\_  
Colleen R. Schell-Berg  
City Clerk  
Deputy City Clerk



**ENGINEER'S ANALYSIS OF PROBABLE COST  
HALLOWELL LANE SANITARY SEWER IMPROVEMENTS  
SID NO. 1344**

**EXHIBIT A**

**I. SPECIAL IMPROVEMENT DISTRICT (SID) CONSTRUCTION COSTS**

| <b>Project Element</b>                  | <b>Unit</b> | <b>Estimated Quantity</b> | <b>Unit Cost</b> | <b>Total Cost</b>   |
|---|-------------|---------------------------|------------------|---------------------|
| <b>Schedule A - Collection Laterals</b> |             |                           |                  |                     |
| Mobilization                            | LS          |                           |                  | \$12,400.00         |
| Bonds and Insurance                     | LS          |                           |                  | \$12,400.00         |
| Basic Manhole (48" Dia.)                | LF          | 8                         | \$1,800.00       | \$14,400.00         |
| Additional Manhole Depth                | VF          | 40                        | \$150.00         | \$6,000.00          |
| 12" PVC Sanitary Sewer                  | LF          |                           | \$60.00          | \$0.00              |
| 8" PVC Sanitary Sewer                   | LF          | 2800                      | \$40.00          | \$112,000.00        |
| 6" PVC Sewer Service                    | LF          | 980                       | \$30.00          | \$29,400.00         |
| 6" PVC Service Tee                      | Each        | 68                        | \$200.00         | \$13,600.00         |
| Dewatering                              | LS          |                           |                  | \$20,000.00         |
| Connect to Existing Manhole             | Each        |                           | \$4,000.00       | \$0.00              |
| Type A Restoration (Asphalt)            | SY          | 440                       | \$25.00          | \$11,000.00         |
| Type B Restoration (Gravel)             | SY          | 6000                      | \$8.00           | \$48,000.00         |
| Type C Restoration (Seeding)            | SY          | 1600                      | \$1.00           | \$1,600.00          |
| Underground Utility Crossings           | Each        | 10                        | \$210.00         | \$2,100.00          |
| Exploratory Excavation                  | Hour        | 20                        | \$150.00         | \$3,000.00          |
| Traffic Control                         | LS          | 1                         | \$2,500.00       | \$2,500.00          |
| Irrigation Ditch Reconstruction         | LF          | 670                       | \$10.00          | \$6,700.00          |
| Irrigation Ditch Structures             | Each        | 3                         | \$1,500.00       | \$4,500.00          |
| <b>Subtotal</b>                         |             |                           |                  | <b>\$299,600.00</b> |
| <b>Contingency (10%)</b>                |             |                           |                  | <b>\$30,000.00</b>  |
| <b>Estimated Construction Cost</b>      |             |                           |                  | <b>\$329,600.00</b> |

| <b>Project Element</b>               | <b>Unit</b> | <b>Estimated Quantity</b> | <b>Unit Cost</b> | <b>Total Cost</b>   |
|--------------------------------------|-------------|---------------------------|------------------|---------------------|
| <b>Schedule B - Collection Mains</b> |             |                           |                  |                     |
| Mobilization                         | LS          |                           |                  | \$8,500.00          |
| Bonds and Insurance                  | LS          |                           |                  | \$8,500.00          |
| Basic Manhole (48" Dia.)             | Each        | 6                         | \$1,800.00       | \$10,800.00         |
| Additional Manhole Depth             | VF          | 40                        | \$150.00         | \$6,000.00          |
| 12" PVC Sanitary Sewer               | LF          | 1900                      | \$40.00          | \$76,000.00         |
| Dewatering                           | LS          |                           |                  | \$10,000.00         |
| Connect to Existing Manhole          | Each        | 1                         | \$4,000.00       | \$4,000.00          |
| Type A Restoration (Asphalt)         | SY          | 2600                      | \$25.00          | \$65,000.00         |
| Underground Utility Crossings        | Each        | 30                        | \$210.00         | \$6,300.00          |
| Exploratory Excavation               | Hour        | 20                        | \$150.00         | \$3,000.00          |
| Traffic Control                      | LS          | 1                         | \$7,000.00       | \$7,000.00          |
| <b>Subtotal</b>                      |             |                           |                  | <b>\$205,100.00</b> |
| <b>Contingency (10%)</b>             |             |                           |                  | <b>\$20,500.00</b>  |
| <b>Estimated Construction Cost</b>   |             |                           |                  | <b>\$225,600.00</b> |

**ENGINEER'S ANALYSIS OF PROBABLE COST  
HALLOWELL LANE SANITARY SEWER IMPROVEMENTS  
SID NO. 1344**

**EXHIBIT A**

**II. COMPUTATION OF UPFRONT CASH CONTRIBUTION FROM  
DRAKE PROPERTY (TAX CODE D-1610)**

| Project Element   | Collection<br>Lateral | Collection<br>Main |
|---|-----------------------|--------------------|
| <b>Construction</b>   |                       |                    |
| Construction  | \$299,600.00          | \$205,100.00       |
| Contingency   | \$30,000.00           | \$20,500.00        |
| Total Estimated Construction Costs                          | \$329,600.00          | \$225,600.00       |
| Percent of Total  | 59.4%                 | 40.6%              |
| <b>Professional Fees</b>                                    |                       |                    |
| Engineering and Construction Administration                 | \$61,182.00           | \$41,818.00        |
| Material Testing During Construction                        | \$3,861.00            | \$2,639.00         |
| Total Estimated Professional Fees                           | \$65,043.00           | \$44,457.00        |
| Percent of Total  | 59.4%                 | 40.6%              |
| <b>Total District Area (sf) Including Drake Property</b>    | 1,740,159             |                    |
| <b>Square Foot Assessments Based on Total District Size</b> |                       |                    |
| Construction  | \$0.189408            | \$0.129643         |
| Professional Fees   | \$0.037378            | \$0.025548         |
| Total Estimated Square Foot Costs                           | \$0.226786            | \$0.155191         |

**Upfront Cash Contribution From Drake Property**

|  |                    |            |
|--|--------------------|------------|
| Drake Property Area (sf)               | 435,600            |            |
| Share of Collection Lateral Cost       | \$0.00             | See Note 1 |
| Share of Collection Main Cost          |                    |            |
| Construction                           | \$56,472.49        |            |
| Professional Fees                      | \$11,128.71        |            |
| Trunk Sewer Construction Fee           | \$2,498.50         | See Note 2 |
| 1% Private Contract Fee                | \$564.72           | See Note 3 |
| <b>Total Upfront Cash Contribution</b> | <b>\$70,664.42</b> |            |

Note 1 - Collection lateral costs will only be assessed to property owners in the Kissee and Bymes-Stephens subdivisions. Lot 10, therefore would not be assessed any of the costs for the collection laterals.

Note 2 - Trunk Sewer Construction Fee is based on an assessment area of 92,400 sf per PUD memo of January 14, 2000. Therefore fee equals (92,400 sf \* \$0.026/sf) \* 1.04 = \$2,498.50

Note 3 - 1% Private Contract Fee is based on the actual size of Drake Property and square foot construction cost. Therefore fee equals (435,600 sf \* \$0.129643) \* 1% = \$564.72

**ENGINEER'S ANALYSIS OF PROBABLE COST  
HALLOWELL LANE SANITARY SEWER IMPROVEMENTS  
SID NO. 1344**

**EXHIBIT A**

**III. ANALYSIS OF REQUIRED BOND SALE**

| Project Element                                 | Collection<br>Lateral | Collection<br>Main | Combined     |
|---|-----------------------|--------------------|--------------|
| <b>Construction Costs</b>                       |                       |                    |              |
| Estimated Construction                          | \$299,600.00          | \$205,100.00       |              |
| Contingency (10%)                               | \$30,000.00           | \$20,500.00        |              |
| Less Drake Cash Contribution                    | \$0.00                | (\$56,472.49)      |              |
| Total Bondable Construction Costs               | \$329,600.00          | \$169,127.51       | \$498,727.51 |
| Percent of Total                                | 66.1%                 | 33.9%              |              |
| <b>Professional Fees</b>                        |                       |                    |              |
| Engineering and Construction Admin.             | \$61,182.00           | \$41,818.00        |              |
| Material Testing                                | \$3,861.00            | \$2,639.00         |              |
| Less Drake Cash Contribution                    | \$0.00                | (\$11,128.71)      |              |
| Total Bondable Professional Fees                | \$65,043.00           | \$33,328.29        | \$98,371.29  |
| <b>City Fees</b>                                |                       |                    |              |
| Public Works Admin Fee (2.5% of Construction)   | \$8,240.00            | \$4,230.00         |              |
| Trunk Sewer Construction Fee                    |                       | \$19,000.00        |              |
| Less Drake Cash Contribution                    | \$0.00                | (\$2,498.50)       |              |
| Bond Council                                    | \$3,300.00            | \$1,700.00         |              |
| Bid Advertisement                               | \$660.00              | \$340.00           |              |
| Total Bondable City Fees                        | \$12,200.00           | \$22,771.50        | \$34,971.50  |
| <b>Bond Sale Costs</b>                          |                       |                    |              |
| Bond Number (See Note 1)                        | 444600                | 246200             |              |
| Bond Fee (3.5% of Bond Number)                  | \$15,561.00           | \$8,617.00         |              |
| Revolving Fund Contribution (5% of Bond Number) | \$22,230.00           | \$12,310.00        |              |
| Total Bond Sale Costs                           | \$37,791.00           | \$20,927.00        | \$56,718.00  |
| <b>Summary of Bondable Project Costs</b>        |                       |                    |              |
| Construction                                    | \$329,600.00          | \$169,127.51       |              |
| Professional Fees                               | \$65,043.00           | \$33,328.29        |              |
| City Fees                                       | \$12,200.00           | \$22,771.50        |              |
| Bond Sale Costs                                 | \$37,791.00           | \$20,927.00        |              |
| Total Bondable Project Costs                    | \$444,634.00          | \$246,154.30       | \$690,788.30 |
| Rourndoff                                       | \$366.00              | \$845.70           | \$1,211.70   |
| Total Recommended Bond Sale                     | \$445,000.00          | \$247,000.00       | \$692,000.00 |

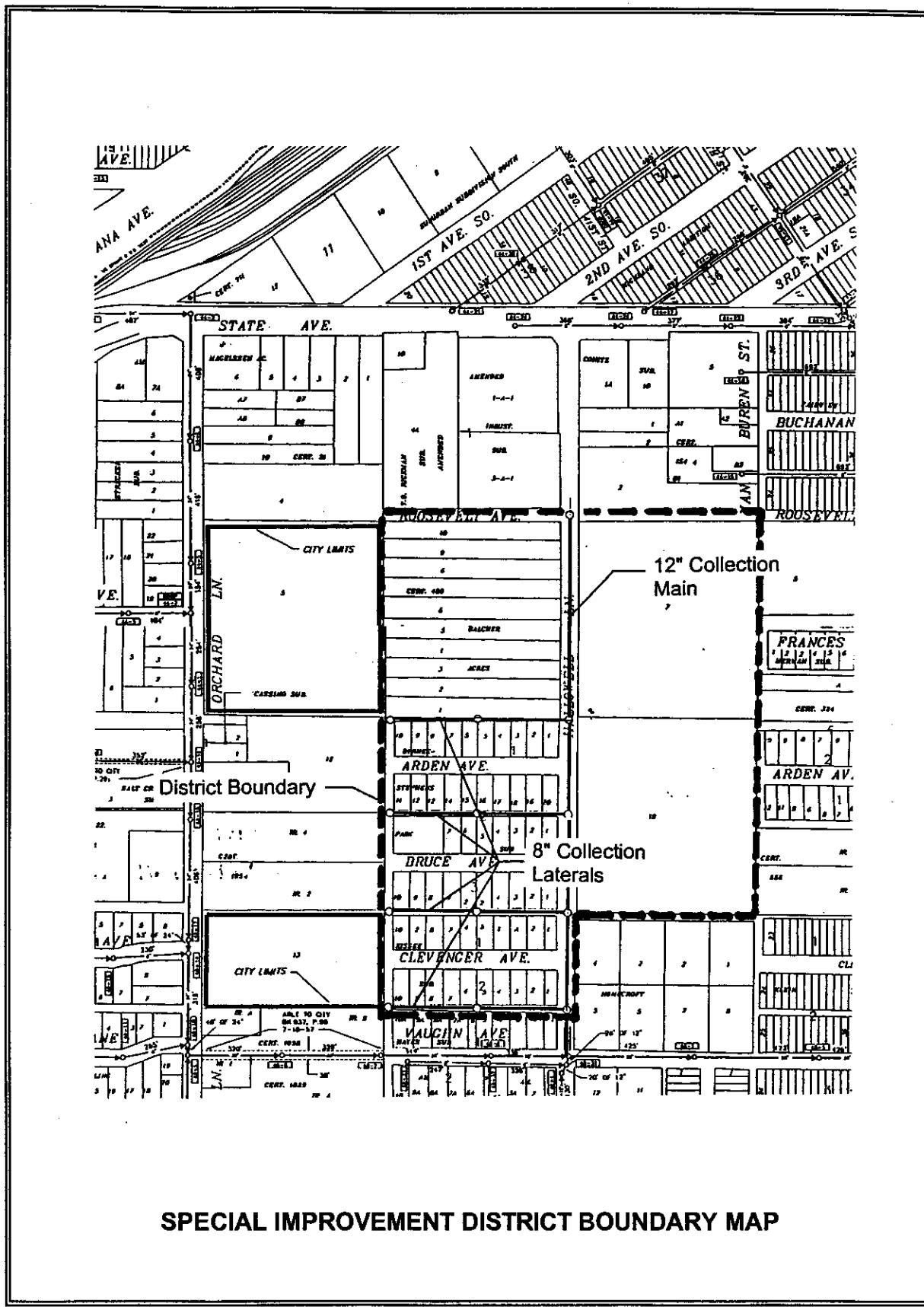
Lateral Cost Per Service Potential (See Note 2) \$8,557.692308

Main Cost Per Square Foot (See Note 3) \$0.189336

Note 1 - Bond number is based on (Construction + Professional Fees + City Fees) / 0.915

Note 2 - Cost per service potential based on a total of 52 services in the District

Note 3 - Main cost per square foot based on the total area within the District less the area of the Drake property for an assessment area of 1,740,159 - 435,600 = 1,304,559 square feet



SPECIAL IMPROVEMENT DISTRICT BOUNDARY MAP

**LEGAL DESCRIPTION  
HALLOWELL LANE SANITARY SEWER IMPROVEMENTS  
SPECIAL IMPROVEMENT DISTRICT NO. 1344**

BEING LOCATED IN YELLOWSTONE COUNTY, MONTANA, IN THE NE ¼ OF SECTION 9, TOWNSHIP 1 SOUTH (T1S), RANGE 26 EAST (R26E), PRINCIPAL MERIDIAN OF MONTANA, AND CONSISTING OF LOTS 1 THROUGH 10 OF THE BALCHER ACRES SUBDIVISION (WITH LOT 7 BEING AMENDED BY CERTIFICATE OF SURVEY 480); LOTS 1 THROUGH 10, BLOCK 1 OF THE BYRNES-STEPHENS SUBDIVISION; LOTS 1 THROUGH 7 AND LOTS 11 THROUGH 20, AND THE CITY PARK IN BLOCK 2 OF THE BYRNES-STEPHENS SUBDIVISION; LOTS 1 THROUGH 10, BLOCK 3 OF THE BYRNES-STEPHENS SUBDIVISION; AND LOTS 1 THROUGH 10, BLOCK 1 OF THE KISSEE SUBDIVISION; AND LOTS 1 THROUGH 10, BLOCK 2 OF THE KISSEE SUBDIVISION; AND LOT 7 AND LOT 10 IN THE NE ¼ OF SECTION 9, T1S, R26E.

Beginning at the northwest corner of Lot 10 of the Balcher Acres Subdivision thence easterly on and along north line of Lot 10 of the Balcher Acres Subdivision to the northeast corner of Lot 10 of the Balcher Acres Subdivision; thence easterly to the northwest corner of Lot 7 in the NE ¼ of Section 9, T1S, R26E; thence easterly on and along the north line of said Lot 7 to the northeast corner of Lot 7 in the NE ¼ of Section 9, T1S, R26E; thence southerly on and along the east line of said Lot 7 to the northeast corner of Lot 10 in the NE ¼ of Section 9, T1S, R26E; thence southerly on and along east line of said Lot 10 to the southeast corner of Lot 10 in the NE ¼ of Section 9, T1S, R26E; thence westerly on and along south line of said Lot 10 to the southwest corner of Lot 10 in the NE ¼ of Section 9, T1S, R26E; thence continuing westerly along a projected line of Lot 10 to the east line of the Kissee Subdivision; thence southerly on and along the east line of Kissee Subdivision to the southeast corner of Kissee Subdivision; thence westerly on and along the south line of the Kissee Subdivision to the southwest corner of Kissee Subdivision; thence northerly on and along the west line of the Kissee Subdivision to the northwest corner of Kissee Subdivision, said point also being the southwest corner of Byrnes-Stephens Subdivision; thence northerly on and along west line of Byrnes-Stephens Subdivision to the northwest corner of Byrnes-Stephens Subdivision, said point also being the southwest corner of Lot 1 of the Balcher Acres Subdivision; thence northerly on and along west line of the Balcher Acres Subdivision to the northwest corner of Lot 10 of the Balcher Acres Subdivision and the Point of Beginning. Excepting from the above bounded area all public street and alley right-of-ways as shown on the official plats on file in the Yellowstone County Courthouse.

## SID 1344

### Exhibit D

| Tax Code | SID # | SID Pay-off | Delinquent | Engineer Estimate | Total Estimate | Market Value | Estimated Market Value After Improvements |
|----------|-------|-------------|------------|-------------------|----------------|--------------|---|
| A-2625   |       |             |            | \$ 5,943.07       | \$ 5,943.07    | \$ 53,775.00 | \$ 59,718.07                              |
| A-2626   |       |             |            | \$ 9,814.42       | \$ 9,814.42    | \$ 49,255.00 | \$ 59,069.42                              |
| A-2627   |       |             |            | \$ 18,952.72      | \$ 18,952.72   | \$ 86,049.00 | \$ 105,001.72                             |
| A-2628   |       |             |            | \$ 12,956.83      | \$ 12,956.83   | \$ 64,467.00 | \$ 77,423.83                              |
| A-2629   |       |             |            | \$ 1,908.70       | \$ 1,908.70    | \$ 38,427.00 | \$ 40,335.70                              |
| A-2629A  |       |             |            | \$ 5,378.47       | \$ 5,378.47    | \$ 7,124.00  | \$ 12,502.47                              |
| A-2630   |       |             |            | \$ 8,453.66       | \$ 8,453.66    | \$ 53,719.00 | \$ 62,172.66                              |
| A-2631   |       |             |            | \$ 15,513.43      | \$ 15,513.43   | \$ 56,482.00 | \$ 71,995.43                              |
| A-3984   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 68,360.00 | \$ 78,337.71                              |
| A-3985   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 29,284.00 | \$ 39,261.71                              |
| A-3986   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 42,948.00 | \$ 52,925.71                              |
| A-3987   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 45,368.00 | \$ 55,345.71                              |
| A-3988   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 39,420.00 | \$ 49,397.71                              |
| A-3989   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 45,936.00 | \$ 55,913.71                              |
| A-3990   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 38,892.00 | \$ 48,869.71                              |
| A-3991   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 40,912.00 | \$ 50,889.71                              |
| A-3992   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 59,012.00 | \$ 68,989.71                              |
| A-3993   |       |             |            | \$ 10,013.31      | \$ 10,013.31   | \$ 51,611.00 | \$ 61,624.31                              |
| A-3994   |       |             |            | \$ 11,397.73      | \$ 11,397.73   | \$ 90,792.00 | \$ 102,189.73                             |
| A-3995   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 43,992.00 | \$ 53,969.71                              |
| A-3996   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 33,544.00 | \$ 43,521.71                              |
| A-3997   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 38,953.00 | \$ 48,930.71                              |
| A-3998   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 40,612.00 | \$ 50,589.71                              |
| A-3999   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 41,760.00 | \$ 51,737.71                              |
| A-4000   |       |             |            | \$ 10,013.31      | \$ 10,013.31   | \$ 43,703.00 | \$ 53,716.31                              |
| A-4001   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 49,240.00 | \$ 59,217.71                              |
| A-4002   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 59,784.00 | \$ 69,761.71                              |
| A-4003   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 45,172.00 | \$ 55,149.71                              |
| A-4004   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 9,801.00  | \$ 19,778.71                              |
| A-4005   |       |             |            | \$ 9,977.71       | \$ 9,977.71    | \$ 77,859.00 | \$ 87,836.71                              |
| A-4006   |       |             |            | \$ 11,397.73      | \$ 11,397.73   | \$ 75,144.00 | \$ 86,541.73                              |
| A-4007   |       | \$ 956.62   |            | \$ 11,397.73      | \$ 12,354.35   | \$ 63,374.00 | \$ 74,771.73                              |
| A-4007A  |       |             |            | \$ 21,411.04      | \$ 21,411.04   | \$ 26,043.00 | \$ 47,454.04                              |
| A-4008   |       |             |            | \$ 11,372.36      | \$ 11,372.36   | \$ 64,191.00 | \$ 75,563.36                              |
| A-4009   |       |             |            | \$ 9,965.59       | \$ 9,965.59    | \$ 38,043.00 | \$ 48,008.59                              |
| A-4010   |       |             |            | \$ 9,965.97       | \$ 9,965.97    | \$ 49,951.00 | \$ 59,916.97                              |
| A-4011   |       |             |            | \$ 9,966.35       | \$ 9,966.35    | \$ 47,187.00 | \$ 57,153.35                              |
| A-4012   |       |             |            | \$ 9,966.54       | \$ 9,966.54    | \$ 51,939.00 | \$ 61,905.54                              |
| A-4013   |       |             |            | \$ 9,966.92       | \$ 9,966.92    | \$ 42,419.00 | \$ 52,385.92                              |
| A-4014   |       |             |            | \$ 10,158.53      | \$ 10,158.53   | \$ 50,571.00 | \$ 60,729.53                              |
| A-4015   |       |             |            | \$ 9,991.72       | \$ 9,991.72    | \$ 32,759.00 | \$ 42,750.72                              |

| <b>Tax Code</b> | <b>SID #</b> | <b>SID Pay-off</b> | <b>Delinquent</b> | <b>Engineer Estimate</b> | <b>Total Estimate</b> | <b>Market Value</b> | <b>Estimated Market Value After Improvements</b> |
|-----------------|--------------|--------------------|-------------------|--------------------------|-----------------------|---------------------|--|
| A-4016          |              |                    |                   | \$ 10,027.89             | \$ 10,027.89          | \$ 37,219.00        | \$ 47,246.89                                     |
| A-9625          |              |                    |                   | \$ 11,943.59             | \$ 11,943.59          | \$ 51,443.00        | \$ 63,386.59                                     |
| A-9625A         |              |                    |                   | \$ 10,031.11             | \$ 10,031.11          | \$ 49,051.00        | \$ 59,082.11                                     |
| A-9626          |              |                    |                   | \$ 10,031.29             | \$ 10,031.29          | \$ 48,496.00        | \$ 58,527.29                                     |
| A-9626A         |              |                    |                   | \$ 9,983.96              | \$ 9,983.96           | \$ 47,039.00        | \$ 57,022.96                                     |
| A-9627          |              |                    |                   | \$ 9,984.15              | \$ 9,984.15           | \$ 59,868.00        | \$ 69,852.15                                     |
| A-9627A         |              |                    |                   | \$ 10,340.86             | \$ 10,340.86          | \$ 58,363.00        | \$ 68,703.86                                     |
| A-9628          |              |                    |                   | \$ 9,984.34              | \$ 9,984.34           | \$ 50,599.00        | \$ 60,583.34                                     |
| A-9629          |              |                    |                   | \$ 10,460.33             | \$ 10,460.33          | \$ 65,675.00        | \$ 76,135.33                                     |
| A-9630          |              |                    |                   | \$ 10,013.31             | \$ 10,013.31          | \$ 59,568.00        | \$ 69,581.31                                     |
| A-9631          |              |                    |                   | \$ 9,977.71              | \$ 9,977.71           | \$ 54,716.00        | \$ 64,693.71                                     |
| A-9632          |              |                    |                   | \$ 9,977.71              | \$ 9,977.71           | \$ 47,628.00        | \$ 57,605.71                                     |
| A-9633          |              |                    |                   | \$ 9,977.71              | \$ 9,977.71           | \$ 50,896.00        | \$ 60,873.71                                     |
| A-9634          |              |                    |                   | \$ 9,977.71              | \$ 9,977.71           | \$ 45,812.00        | \$ 55,789.71                                     |
| A-9635          |              |                    |                   | \$ 11,397.73             | \$ 11,397.73          | \$ 60,276.00        | \$ 71,673.73                                     |
| A-9636          |              |                    |                   | \$ 9,977.71              | \$ 9,977.71           | \$ 48,656.00        | \$ 58,633.71                                     |
| A-9637          |              |                    |                   | \$ 9,977.71              | \$ 9,977.71           | \$ 50,356.00        | \$ 60,333.71                                     |
| A-9638          |              |                    |                   | \$ 9,977.71              | \$ 9,977.71           | \$ 51,200.00        | \$ 61,177.71                                     |
| D-1604          |              |                    |                   | \$ 82,474.78             | \$ 82,474.78          | \$ 332.00           | \$ 82,806.78                                     |
| D-1610          |              |                    |                   | \$ 70,099.37             | \$ 70,099.37          | \$ 332.00           | \$ 70,431.37                                     |
| <b>Average</b>  |              | <b>\$ -</b>        | <b>\$ 956.62</b>  | <b>\$ 12,493.43</b>      | <b>\$ 12,509.11</b>   | <b>\$ 47,957.36</b> | <b>\$ 60,450.79</b>                              |
| <b>Median</b>   |              | <b>\$ -</b>        | <b>\$ 956.62</b>  | <b>\$ 9,977.71</b>       | <b>\$ 9,977.71</b>    | <b>\$ 49,051.00</b> | <b>\$ 59,217.71</b>                              |
| <b>Low</b>      |              | <b>\$ -</b>        | <b>\$ 956.62</b>  | <b>\$ 1,908.70</b>       | <b>\$ 1,908.70</b>    | <b>\$ 332.00</b>    | <b>\$ 12,502.47</b>                              |
| <b>High</b>     |              | <b>\$ -</b>        | <b>\$ 956.62</b>  | <b>\$ 82,474.78</b>      | <b>\$ 82,474.78</b>   | <b>\$ 90,792.00</b> | <b>\$ 105,001.72</b>                             |

**DESCRIPTION OF IMPROVEMENTS  
FOR  
HALLOWELL LANE SANITARY SEWER IMPROVEMENTS  
SPECIAL IMPROVEMENT DISTRICT NO. 1344**

This project will construct sanitary sewer improvements to serve existing residential lots in the Kissee Subdivision, Blocks 1 and 2; Byrnes-Stephens Subdivision, Blocks 1, 2 and 3; Blacher Acres, Lots 1-6 and Lots 9-10; Certificate of Survey 480, Tracts A and B; and Lots 7 and 10 in the NE  $\frac{1}{4}$  of Section 9, T1S, R26E.

These residences are presently on septic and drainfield systems. Many of the existing septic systems have failed and are on lots that are not of sufficient size to support replacement systems.

Date: February 23, 2000

**EXHIBIT F1****CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA**  
**PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

DATE: February 23, 2000

SID Description: Sanitary Sewer Improvements

| <b>TAX CODE<br/>NUMBER</b> | <b>OWNER AS OF LAST TAX ROLL<br/>MAILING ADDRESS</b>   | <b>LEGAL DESCRIPTION<br/>(SUBDIVISION/LOT/BLOCK)</b>                                | <b>ASSESSMENT AREA<br/>(SQUARE FEET)</b> |
|----------------------------|--|---|--|
| A-9625                     | Dallas W. McColley<br>Sharon G. McColley<br>304 Hallowell Lane<br>Billings, MT 59101-5009        | Lots 1, 2, and the east 21 feet<br>of Lot 3, Block 1, Kissée Sub.                   | 17883                                    |
| A-9625A                    | Marilan A. Schaefer<br>4217 Cleverger Avenue<br>Billings, MT 59101-5006                          | The west 39 feet of Lot 3 and<br>the east 23 feet of Lot 4, Block<br>1, Kissée Sub. | 7782                                     |
| A-9626                     | George F. Wollenburg<br>Martha L. Wollenburg<br>4221 Cleverger Avenue<br>Billings, MT 59101-5006 | The west 37 feet of Lot 4 and<br>the east 25 feet of Lot 5, Block<br>1, Kissée Sub. | 7783                                     |
| A-9626A                    | Paul W. Hartman<br>Wanda L. Hartman<br>4225 Cleverger Avenue<br>Billings, MT 59101-5006          | The west 35 feet of Lot 5 and<br>the east 25 feet of Lot 6, Block<br>1, Kissée Sub. | 7533                                     |

**EXHIBIT F1**

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA**  
**PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

DATE: February 23, 2000

SID Description: Sanitary Sewer Improvements

|         |  |   |       |
|---------|--|---|-------|
| A-9627  | Gloria J. Soto, Trustee<br>Of the Gloria J. Soto Revocable Trust<br>Trust<br>42229 Clevenger Avenue<br>Billings, MT 59101-5066 | The west 35 feet of Lot 6 and<br>the east 25 feet of Lot 7, Block<br>1, Kissee Sub. | 7534  |
| A-9627A | Scott A. Huck<br>Anna M. Huck<br>4233 Clevenger Avenue<br>Billings, MT 59101-5006  | The west 35 feet of Lot 7 and<br>the east 40 feet of Lot 8, Block<br>1, Kissee Sub. | 9418  |
| A-9628  | Cecelia M. Bender<br>4237 Clevenger Avenue<br>Billings, MT 59101-5006  | The west 20 feet of Lot 8 and<br>the east 40 feet of Lot 9, Block<br>1, Kissee Sub. | 7535  |
| A-9629  | Andrew R. Minchew<br>Patricia L. Minchew<br>4241 Clevenger Avenue<br>Billings, MT 59101-5006                                   | The west 20 feet of Lot 9 and<br>all of Lot 10, Block 1, Kissee<br>Sub.             | 10049 |
| A-9630  | Timothy J. O'Brien<br>4204 Clevenger Avenue<br>Billings, MT 59101-5005   | Lot 1, Block 2, of Kissee Sub.  | 7688  |

**EXHIBIT F1**

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA**  
**PART I - OWNERSHIP INFORMATION**

SID NUMBER: **1344**

DATE: **February 23, 2000**

SID Description: **Sanitary Sewer Improvements**

|        |  |   |
|--------|--|---|
| A-9631 | James F. Jacobs<br>Regina M. Jacobs<br>4208 Clevenger Avenue<br>Billings, MT 59101-5005  | Lot 2, Block 2, of Kissee Sub.<br>7500            |
| A-9632 | Ronald H. Jenness<br>Delores Jenness<br>4212 Clevenger Avenue<br>Billings, MT 59101-5005 | Lot 3, Block 2, of Kissee Sub.<br>7500            |
| A-9633 | Matthew D. Ingold<br>4216 Clevenger Avenue<br>Billings, MT 59101-5005                    | Lot 4, Block 2, of Kissee Sub.<br>7500            |
| A-9634 | David W. Stephens<br>Gertrude E. Stephens<br>10 North Street<br>Glen Cove, NY 11542-1834 | Lot 5, Block 2, of Kissee Sub.<br>7500            |
| A-9635 | Joseph E. Drube<br>Diane I. Drube<br>4224 Clevenger Avenue<br>Billings, MT 59101-5005    | Lots 6 and 7, Block 2, of Kissee<br>Sub.<br>15000 |
| A-9636 | Robyn Robbins<br>4234 Clevenger Avenue<br>Billings, MT 59101-5005                        | Lot 8, Block 2, of Kissee Sub.<br>7500            |

**EXHIBIT F1**

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA**  
**PART I - OWNERSHIP INFORMATION**

**SID NUMBER:** 1344

**DATE:** February 23, 2000

**SID Description:** Sanitary Sewer Improvements

|        |   |   |      |
|--------|---|---|------|
| A-9637 | Andrew Gustafson<br>Edna V. Gustafson<br>4238 Clevenger Avenue<br>Billings, MT 59101-5005 | Lot 9, Block 2, of Kissee Sub.              | 7500 |
| A-9638 | Cecil C. Hughes<br>Jean Hughes<br>4242 Clevenger Avenue<br>Billings, MT 59105-5005        | Lot 10, Block 2, of Kissee Sub.             | 7500 |
| A-3984 | Dawn Remnick<br>206 Hallowell Lane<br>Billings, MT 59101-5007                             | Lot 1, Block 1, of Byrnes-<br>Stephens Sub. | 7500 |
| A-3985 | John R. Brunn<br>Deanna C. Brunn<br>4209 Arden Avenue<br>Billings, MT 59101-5002          | Lot 2, Block 1, of Byrnes-<br>Stephens Sub. | 7500 |
| A-3986 | Pamela S. Chapin<br>Mitchell S. Chapin<br>4211 Arden Avenue<br>Billings, MT 59101-5002    | Lot 3, Block 1, of Byrnes-<br>Stephens Sub. | 7500 |

**EXHIBIT F1**

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA**  
**PART I - OWNERSHIP INFORMATION**

SID NUMBER: **1344**

DATE: February 23, 2000

SID Description: Sanitary Sewer Improvements

|        |  |   |
|--------|--|---|
| A-3987 | Marcus A. Kindsfater<br>Kerri A. Kindsfater<br>4215 Arden Avenue<br>Billings, MT 59101-5002                              | Lot 4, Block 1, of Byrnes-<br>Stephens Sub.<br>7500 |
| A-3988 | A. Lloyd Marsh<br>4219 Arden Avenue<br>Billings, MT 59101-5002   | Lot 5, Block 1, of Byrnes-<br>Stephens Sub.<br>7500 |
| A-3989 | Craig S. Senn<br>Kristine Senn<br>4225 Arden Avenue<br>Billings, MT 59101-5002   | Lot 6, Block 1, of Byrnes-<br>Stephens Sub.<br>7500 |
| A-3990 | Lillian F. Wilson<br>Donna M. Thayer<br>4229 Arden Avenue<br>Billings, MT 59101-5002                                     | Lot 7, Block 1, of Byrnes-<br>Stephens Sub.<br>7500 |
| A-3991 | John J. Bender<br>Helen M. Bender<br>Janice M. Wrigg<br>Roger A. Bender<br>112 Hallowell Lane<br>Billings, MT 59101-5018 | Lot 8, Block 1, of Byrnes-<br>Stephens Sub.<br>7500 |

**EXHIBIT F1**

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA**  
**PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

DATE: February 23, 2002

SID Description: Sanitary Sewer Improvements

|        |   |   |
|--------|---|---|
| A-3992 | Troy L. Calhoun<br>Geraldine A. Calhoun<br>4243 Arden Avenue<br>Billings, MT 59101-5002 | Lot 9, Block 1, of Byrnes-<br>Stephens Sub.<br>7500       |
| A-3993 | Claire E. Hughes<br>Ethel C. Hughes<br>4525 Arden Avenue<br>Billings, MT 59101-5004     | Lot 10, Block 1, of Byrnes-<br>Stephens Sub.<br>7688      |
| A-3994 | John A. Leichner<br>1029 9th Avenue<br>Laurel, MT 59044                                 | Lots 1 & 2, Block 2, of Byrnes-<br>Stephens Sub.<br>15000 |
| A-3995 | Alvin H. Schoessler<br>Marie K. Schoessler<br>4211 Bruce Avenue<br>Billings, MT 59101   | Lot 3, Block 2, of Byrnes-<br>Stephens Sub.<br>7500       |
| A-3996 | Todd M. Kleen<br>Shelly L. Kleen<br>4217 Bruce Avenue<br>Billings, MT 59101             | Lot 4, Block 2, of Byrnes-<br>Stephens Sub.<br>7500       |

**EXHIBIT F1**

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA**  
**PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

DATE: February 23, 2000

SID Description: Sanitary Sewer Improvements

|         |  |  |       |
|---------|--|--|-------|
| A-3997  | Steven M. Renner<br>Hope S. Renner<br>4221 Bruce Avenue<br>Billings, MT 59101-5004                           | Lot 5, Block 2, of Byrnes-<br>Stephens Sub.  | 7500  |
| A-3998  | Joshua G. Watts<br>Heather E. M. Watts<br>4225 Bruce Avenue<br>Billings, MT 59101-5004                       | Lot 6, Block 2, of Byrnes-<br>Stephens Sub.  | 7500  |
| A-3999  | Ronald K. Schultz<br>Mavis A. Schultz<br>Timothy Kay Schultz<br>4231 Bruce Avenue<br>Billings, MT 59101-5004 | Lot 7, Block 2, of Byrnes-<br>Stephens Sub.  | 7500  |
| A-4007A | City of Billings<br>P.O. Box 1178<br>Billings, MT 59103-1178   | Park in Block 2 of Byrnes-<br>Stephens Sub.  | 22688 |
| A-4000  | Donald W. Thompson<br>Janis L. Thompson<br>4246 Arden Avenue<br>Billings, MT 59101-5001                      | Lot 11, Block 2, of Byrnes-<br>Stephens Sub. | 7688  |

**EXHIBIT F1**

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA**  
**PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

DATE: February 23, 2000

SID Description: Sanitary Sewer Improvements

|        |   |  |
|--------|---|--|
| A-4001 | Stephanie K. Fisher<br>Paul E. Swartz<br>4240 Arden Avenue<br>Billings, MT 59101-5001         | Lot 12, Block 2, of Byrnes-<br>Stephens Sub.<br>7500       |
| A-4002 | Rose Ann E. Fettig<br>4236 Arden Avenue<br>Billings, MT 59101-5001                            | Lot 13, Block 2, of Byrnes-<br>Stephens Sub.<br>7500       |
| A-4003 | August Scheafer<br>4230 Arden Avenue<br>Billings, MT 59101-5001                               | Lot 14, Block 2, of Byrnes-<br>Stephens Sub.<br>7500       |
| A-4004 | Kenneth W. Papka<br>Debra Papka<br>4226 Arden Avenue<br>Billings, MT 59101-5001               | Lot 15, Block 2, of Byrnes-<br>Stephens Sub.<br>7500       |
| A-4005 | Kenneth W. Papka<br>Debra Papka<br>4226 Arden Avenue<br>Billings, MT 59101-5001               | Lot 16, Block 2, of Byrnes-<br>Stephens Sub.<br>7500       |
| A-4006 | Kenneth M. Ehrmantraut<br>Nanette Ehrmantraut<br>4216 Arden Avenue<br>Billings, MT 59101-5001 | Lots 17 & 18, Block 2, of<br>Byrnes-Stephens Sub.<br>15000 |

**EXHIBIT F1**

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA**  
**PART I - OWNERSHIP INFORMATION**

SID NUMBER: **1344**

DATE: **February 23, 2000**

SID Description: **Sanitary Sewer Improvements**

|        |   |  |       |
|--------|---|--|-------|
| A-4007 | Darryl Deck (1/3 Int)<br>Thomas M. Abbey (1/3 Int)<br>Kevin Richau (1/3 Int)<br>9 Stanford Court<br>Billings, MT 59102-1778 | Lots 19 & 20, Block 2, of<br>Bynes-Stephens Sub. | 15000 |
| A-4008 | Teresa L. Hagestad<br>4204 Bruce Avenue<br>Billings, MT 59101-1003  | Lots 1 & 2, Block 3, of<br>Bynes-Stephens Sub.   | 14866 |
| A-4009 | Mark A. Greenfield<br>Dawn E. Greenfield<br>4212 Bruce Avenue<br>Billings, MT 59101-5003                                    | Lot 3, Block 3, of Bynes-<br>Stephens Sub.       | 7436  |
| A-4010 | Cristine A. Ruckman<br>4218 Bruce Avenue<br>Billings, MT 59101-5003   | Lot 4, Block 3, of Bynes-<br>Stephens Sub.       | 7438  |
| A-4011 | James R. Pool<br>Carla R. Pool<br>4222 Bruce Avenue<br>Billings, MT 59101-5003  | Lot 5, Block 3, of Bynes-<br>Stephens Sub.       | 7440  |
| A-4012 | Duane M. Ketchum<br>4228 Bruce Avenue<br>Billings, MT 59101-5003  | Lot 6, Block 3, of Bynes-<br>Stephens Sub.       | 7441  |

**EXHIBIT F1**

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA**  
**PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

DATE: February 23, 2000

SID Description: Sanitary Sewer Improvements

|        |  |  |
|--------|--|--|
| A-4013 | Amelia J. Ruff<br>4232 Bruce Avenue<br>Billings, MT 59101-5003                         | 7443<br>Lot 7, Block 3, of Byrnes-<br>Stephens Sub.                      |
| A-4014 | Harley L. Schrab<br>Sheri L. Schrab<br>4234 Bruce Avenue<br>Billings, MT 59101-5003    | 8455<br>Lot 8, Block 3, of Byrnes-<br>Stephens Sub.                      |
| A-4015 | Sheila J. Dockter<br>Merle Dockter<br>4244 Bruce Avenue<br>Billings, MT 59101-5003     | 7574<br>Lot 9, Block 3, of Byrnes-<br>Stephens Sub.                      |
| A-4016 | Robert L. Maxwell<br>Pamela E. Maxwell<br>4248 Bruce Avenue<br>Billings, MT 59101-5003 | 7765<br>Lot 10, Block 3, of Byrnes-<br>Stephens Sub.                     |
| A-2625 | Charles J. Netterberg, Jr.<br>150 Hallowell Lane<br>Billings, MT 59101-5018            | 31389<br>The east 475 feet of Lot 1,<br>Balcher Acres                    |
| A-2626 | Pitz Partnership Properties<br>2711 Patricia Lane<br>Billings, MT 59102-1317           | 51836<br>The west 154.8 feet of Lot 1<br>and all of Lot 2, Balcher Acres |

**EXHIBIT F1****CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA**  
**PART I - OWNERSHIP INFORMATION****SID NUMBER:** 1344**DATE:** February 23, 2000**SID Description:** Sanitary Sewer Improvements

|        |  |  |
|--------|--|--|
| A-2627 | Keith J. Bauer<br>Debbie L. Bauer<br>136 Hallowell Lane<br>Billings, MT 59101-5018                                       | Lots 3 & 4 and the south 27<br>feet of Lot 5, Balcher Acres<br>100101    |
| A-2628 | Dalton A. Perry<br>124 Hallowell Lane<br>Billings, MT 59101-5018   | The north 39 feet of Lot 5 and<br>all of Lot 6, Balcher Acres<br>68433   |
| A-2630 | John J. Bender<br>Helen M. Bender<br>Janice M. Wrigg<br>Roger A. Bender<br>112 Hallowell Lane<br>Billings, MT 59101-5018 | The north 5 feet of Lot 7 and<br>all of Lot 8, Balcher Acres<br>44649    |
| A-2631 | Gilbert Romero, Jr.<br>Dianna J. Romero<br>110 Hallowell Lane<br>Billings, MT 59101-5018                                 | Lots 9 & 10, Balcher Acres<br>81936                                      |
| A-2629 | Don L. Crawford<br>116 Hallowell Lane<br>Billings, MT 59101-5018   | Tract A, Balcher Acres<br>(C/S 480 in Balcher Acres<br>Tract 7)<br>10081 |

**EXHIBIT F1**

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA**  
**PART I - OWNERSHIP INFORMATION**

**SID NUMBER:** 1344

**DATE:** February 23, 2000

**SID Description:** Sanitary Sewer Improvements

|         |   |   |        |
|---------|---|---|--------|
| A-2629A | Jesme-Lowe, Inc.<br>James W. Lowe<br>Derald J. Jesme<br>750 Broadwater Avenue<br>Billings, MT 59101-2710                        | Tract B, Balcher Acres<br>(C/S 480 in Balcher Acres<br>Tract 7)     | 28407  |
| D-1604  | Vernon L. Drake, Trustee<br>VLD Trust<br>Le Roy Fradet<br>Katherine B. Fradet<br>3111 Rugby Drive<br>Billings, MT 59102-0749    | Lot 7, in the NE1/4<br>Section 9-Township 1 South<br>Range 26 East  | 435600 |
| D-1610  | Le Roy V. Fradet<br>Katherine B. Fradet<br>Vernon L. Drake, Trustee<br>VLD Trust<br>3111 Rugby Drive<br>Billings, MT 59102-0749 | Lot 10, in the NE1/4<br>Section 9-Township 1 South<br>Range 26 East | Zero   |

**CITY OF BILLINGS, MONTANA**  
**SPECIAL IMPROVEMENT DISTRICT**  
**PART II -ASSESSMENT DATA**

**Date: February 23, 2000**

| <b>Consultant to Complete</b>  |                             | <b>Data Processing<br/>Cards</b> | <b>Columns</b> |              |
|--|-----------------------------|----------------------------------|----------------|--------------|
| S.I.D. No.   | 1344                        | A & B                            | 2 - 5          |              |
| S.I.D. Description   | Sanitary Sewer Improvements | A                                | 6 - 39         |              |
| Years To Be Assessed   | 15                          | A                                | 48 - 49        |              |
| Total S.I.D. Area  | 1,304,559 square feet       | A                                | 50 - 60        |              |
| <input checked="" type="checkbox"/> Estimated From Preliminary Plans |                             |                                  |                |              |
| <input type="checkbox"/> Estimated Per Bid Prices                    |                             |                                  |                |              |
| <input type="checkbox"/> Final Per Actual Construction               |                             |                                  |                |              |
| <b>S.I.D. Improvement Costs</b>                                      |                             |                                  |                |              |
| <b>Special Additions</b>   |                             |                                  |                |              |
| Code   | Quantity                    | Unit                             | Unit Cost      | Total        |
| 1 Curb and Gutter  |                             |                                  |                |              |
| 2 Drive Approach   |                             |                                  |                |              |
| 3 Water Service  |                             |                                  |                |              |
| 4 Sidewalk   |                             |                                  |                |              |
| 6 Alley Improvement  |                             |                                  |                |              |
| 7 Service Potential  | 52                          | Each                             | \$8,557.6923   | \$445,000.00 |
| 8 Collection Main  | 1,304,559                   | SF                               | 0.189336       | \$247,000.00 |
| 9 Other  |                             |                                  |                |              |
| Total Project Cost   |                             |                                  |                | \$692,000.00 |
| (All Costs To Include Prorata Share of Administrative Costs)         |                             |                                  |                |              |
| <b>City Central Support Services to Complete</b>                     |                             |                                  |                |              |
| First Year To Be Assessed  |                             |                                  |                | A 40 - 41    |
| Type Assessment  |                             | Pending                          |                | A 42         |
| Interest Rate  |                             |                                  |                | A 42 - 41    |
| Bond Issue Date  |                             |                                  |                | A 62 - 67    |

**CITY OF BILLINGS**  
**SPECIAL IMPROVEMENTS DISTRICT**  
**PART III - ASSESSMENT DATA**

**SID COSTS**

**Estimated From Preliminary Plans**  
 **Estimated Per Bid Prices**  
 **Final Per Actual Construction**

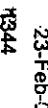
**Date:** 23-Feb-00 **EXHIBIT F3**  
**S.I.D. No.:** 1344  
**Completed By:** Craig Canfield  
**Consulting Firm:** Interstate Engineering

| Assessment Number | Assessment Date | Collection Lateral |               | Total Cost | Lot Area (SF) | Collection Main |                  | Total Cost  | Improvement Cost |
|-------------------|-----------------|--------------------|---------------|------------|---------------|-----------------|------------------|-------------|------------------|
|                   |                 | Cost Per           | Service Units |            |               | Cost            | Square Foot Cost |             |                  |
| A-9625            | 1               | \$8,557.6923       |               | \$8,557.69 | 17883         | \$0.1893360     | \$3,385.90       | \$11,943.59 |                  |
| A-9625A           | 1               | \$8,557.6923       |               | \$8,557.69 | 7782          | \$0.1893360     | \$1,473.41       | \$10,031.11 |                  |
| A-9626            | 1               | \$8,557.6923       |               | \$8,557.69 | 7783          | \$0.1893360     | \$1,473.60       | \$10,031.29 |                  |
| A-9626A           | 1               | \$8,557.6923       |               | \$8,557.69 | 7533          | \$0.1893360     | \$1,426.27       | \$9,983.96  |                  |
| A-9627            | 1               | \$8,557.6923       |               | \$8,557.69 | 7534          | \$0.1893360     | \$1,426.46       | \$9,984.15  |                  |
| A-9627A           | 1               | \$8,557.6923       |               | \$8,557.69 | 9418          | \$0.1893360     | \$1,783.17       | \$10,340.86 |                  |
| A-9628            | 1               | \$8,557.6923       |               | \$8,557.69 | 7535          | \$0.1893360     | \$1,426.65       | \$9,984.34  |                  |
| A-9629            | 1               | \$8,557.6923       |               | \$8,557.69 | 10049         | \$0.1893360     | \$1,902.64       | \$10,460.33 |                  |
| A-9630            | 1               | \$8,557.6923       |               | \$8,557.69 | 7688          | \$0.1893360     | \$1,455.62       | \$10,013.31 |                  |
| A-9631            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |
| A-9632            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |
| A-9633            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |
| A-9634            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |
| A-9635            | 1               | \$8,557.6923       |               | \$8,557.69 | 15000         | \$0.1893360     | \$2,840.04       | \$11,397.73 |                  |
| A-9636            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |
| A-9637            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |
| A-9638            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |
| A-3984            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |
| A-3985            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |
| A-3986            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |
| A-3987            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |
| A-3988            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |
| A-3989            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |
| A-3990            | 1               | \$8,557.6923       |               | \$8,557.69 | 7500          | \$0.1893360     | \$1,420.02       | \$9,977.71  |                  |

**CITY OF BILLINGS**  
**SPECIAL IMPROVEMENTS DISTRICT**  
**PART III - ASSESSMENT DATA**

SID COSTS

X      Estimated From Preliminary Plans  
 \_\_\_\_\_      Estimated Per Bid Prices  
 \_\_\_\_\_      Final Per Actual Construction

Date: 23-Feb-08      EXHIBIT F3  
 S.I.D. No.: 13344  
 Completed By: Craig Ca.   
 Consulting Firm: Interstate Engineering

| S.I.D.  | COLLECTOR NAME | COLLECTOR LENGTH | COLLECTOR AREA | COLLECTOR SLOPE | SID COSTS   |            | ADDITIONAL COMMENTS |
|---------|----------------|------------------|----------------|-----------------|-------------|------------|---------------------|
|         |                |                  |                |                 | Estimated   | Actual     |                     |
| A-3991  |                | \$8,557.6923     | \$8,557.69     | 7500            | \$0.1893360 | \$1,420.02 | \$9,977.71          |
| A-3992  |                | \$8,557.6923     | \$8,557.69     | 7500            | \$0.1893360 | \$1,420.02 | \$9,977.71          |
| A-3993  |                | \$8,557.6923     | \$8,557.69     | 7688            | \$0.1893360 | \$1,455.62 | \$10,013.31         |
| A-3994  |                | \$8,557.6923     | \$8,557.69     | 15000           | \$0.1893360 | \$2,840.04 | \$11,397.73         |
| A-3995  |                | \$8,557.6923     | \$8,557.69     | 7500            | \$0.1893360 | \$1,420.02 | \$9,977.71          |
| A-3996  |                | \$8,557.6923     | \$8,557.69     | 7500            | \$0.1893360 | \$1,420.02 | \$9,977.71          |
| A-3997  |                | \$8,557.6923     | \$8,557.69     | 7500            | \$0.1893360 | \$1,420.02 | \$9,977.71          |
| A-3998  |                | \$8,557.6923     | \$8,557.69     | 7500            | \$0.1893360 | \$1,420.02 | \$9,977.71          |
| A-3999  |                | \$8,557.6923     | \$8,557.69     | 7500            | \$0.1893360 | \$1,420.02 | \$9,977.71          |
| A-4007A |                | \$8,557.6923     | \$8,557.69     | 22688           | \$0.1893360 | \$4,295.66 | \$21,411.04         |
| A-4000  |                | \$8,557.6923     | \$8,557.69     | 7688            | \$0.1893360 | \$1,455.62 | \$10,013.31         |
| A-4001  |                | \$8,557.6923     | \$8,557.69     | 7500            | \$0.1893360 | \$1,420.02 | \$9,977.71          |
| A-4002  |                | \$8,557.6923     | \$8,557.69     | 7500            | \$0.1893360 | \$1,420.02 | \$9,977.71          |
| A-4003  |                | \$8,557.6923     | \$8,557.69     | 7500            | \$0.1893360 | \$1,420.02 | \$9,977.71          |
| A-4004  |                | \$8,557.6923     | \$8,557.69     | 7500            | \$0.1893360 | \$1,420.02 | \$9,977.71          |
| A-4005  |                | \$8,557.6923     | \$8,557.69     | 15000           | \$0.1893360 | \$2,840.04 | \$11,397.73         |
| A-4006  |                | \$8,557.6923     | \$8,557.69     | 15000           | \$0.1893360 | \$2,840.04 | \$11,397.73         |
| A-4007  |                | \$8,557.6923     | \$8,557.69     | 14866           | \$0.1893360 | \$2,814.67 | \$11,372.36         |
| A-4008  |                | \$8,557.6923     | \$8,557.69     | 7436            | \$0.1893360 | \$1,407.90 | \$9,965.59          |
| A-4009  |                | \$8,557.6923     | \$8,557.69     | 7438            | \$0.1893360 | \$1,408.28 | \$9,965.97          |
| A-4010  |                | \$8,557.6923     | \$8,557.69     | 7440            | \$0.1893360 | \$1,408.66 | \$9,966.35          |
| A-4011  |                | \$8,557.6923     | \$8,557.69     | 7441            | \$0.1893360 | \$1,408.85 | \$9,966.54          |
| A-4012  |                | \$8,557.6923     | \$8,557.69     | 7443            | \$0.1893360 | \$1,409.23 | \$9,966.92          |
| A-4013  |                | \$8,557.6923     | \$8,557.69     | 8455            | \$0.1893360 | \$1,600.84 | \$10,158.53         |

**CITY OF BILLINGS  
SPECIAL IMPROVEMENTS DISTRICT  
PART III - ASSESSMENT DATA**

|   |   |                   |
|---|---|-------------------|
| <b>SID COSTS</b>                        | <b>Date:</b> <b>23-Feb-00</b>                         | <b>EXHIBIT F3</b> |
| <b>X</b>                                | <b>S.I.D. No.:</b> <b>1304</b>                        |                   |
| <b>Estimated From Preliminary Plans</b> | <b>Completed By:</b> <b>Crab Canfield</b>             |                   |
| <b>Estimated Per Bid Prices</b>         | <b>Consulting Firm:</b> <b>Interstate Engineering</b> |                   |
| <b>Final Per Actual Construction</b>    |   |                   |

| Line Item | Collection Unit | Service Unit | Cost       | Actual Cost | Estimated Cost      | Estimated Cost      |
|-----------|-----------------|--------------|------------|-------------|---------------------|---------------------|
| A-4015    | 1               | \$8,557,6923 | \$8,557.69 | 7574        | \$0,1893360         | \$1,434.03          |
| A-4016    |                 | \$8,557,6923 | \$8,557.69 | 7765        | \$0,1893360         | \$1,470.19          |
| A-2625    |                 |              |            | 31389       | \$0,1893360         | \$5,943.07          |
| A-2626    |                 |              |            | 51836       | \$0,1893360         | \$9,814.42          |
| A-2627    |                 |              |            | 100101      | \$0,1893360         | \$18,952.72         |
| A-2628    |                 |              |            | 66433       | \$0,1893360         | \$12,956.83         |
| A-2630    |                 |              |            | 44649       | \$0,1893360         | \$8,453.66          |
| A-2631    |                 |              |            | 81936       | \$0,1893360         | \$15,513.43         |
| A-2629    |                 |              |            | 10081       | \$0,1893360         | \$1,908.70          |
| A-2629A   |                 |              |            | 28407       | \$0,1893360         | \$5,378.47          |
| D-1604    |                 |              |            | 435600      | \$0,1893360         | \$82,474.78         |
| D-1610    |                 |              |            | 0           | \$0.00              | \$70,099.37         |
|           |                 |              |            |             | <b>\$245,060.00</b> | <b>\$162,099.37</b> |
|           |                 |              |            |             | <b>\$245,060.00</b> | <b>\$162,099.37</b> |

Collection Lateral Cost per Service Unit  
Collection Main Cost per Square Foot

**\$8,557,6923**  
**\$0,1893360**