

Article 27-1800. East Billings Urban Revitalization District Code

Sec. 27-1811 Explanation of Table Requirements.

The following explains and defines the requirements included in the tables for each Frontage Type, Sections 27-1813(a) through 27-1813(h). Not all line items listed below may appear within each Frontage Type's individual requirements table.

(a) Building Siting.

(1) Street Frontage.

- a. **Multiple Principal Buildings.** The presence of more than one principal structure on a lot.
- b. **Front Lot Line Coverage.** (Refer to Figure 27-1811(a)-1). Measurement defining the minimum percentage of street wall or building facade required along the primary street. (Refer to Figure 27-1817(e)-3 for Primary Street Priority Map.) The width of the principal structure(s) (as measured within the front build-to zone) shall be divided by the maximum width of the front build-to zone (BTZ).
 - i. Some Frontage Types allow side yard parking to be exempted from the front lot line coverage calculation. If such an exemption is permitted,

the width of up to one (1) double loaded aisle of parking, located with the drive perpendicular to the street and including adjacent sidewalks and landscaping, may be exempted, to a maximum of sixty five (65) feet.

- c. **Occupation of Corner.** Occupying the intersection of the front and corner build-to zones with a principal structure.
- d. **Front Build-to Zone or Setback.** The build-to zone or setback parallel to the front lot line.
 - i. All build-to zone and setback areas not covered by building must contain either landscape, patio space, or sidewalk space.
- e. **Corner Build-to Zone or Setback.** The build-to zone or setback parallel to the corner lot line.
 - i. All build-to zone and setback areas not covered by building must contain either landscape, patio space, or sidewalk space.
- f. **Right-of-Way Encroachment.** Specified building components, such as awnings and canopies, may be permitted to extend beyond the front lot line and encroach upon the City right-of-way. If permitted, such building components are

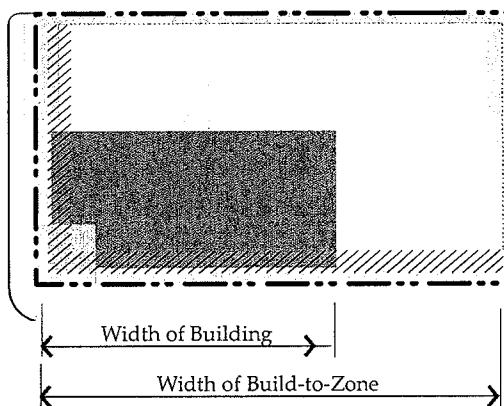


Figure 27-1811(a)-1. Measuring Front Lot Line Coverage.



Figure 27-1811(a)-2. Maximum Impervious & Semi-Pervious Coverage.

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permitted to extend to within five (5) feet of the curb, maintaining a minimum of eight (8) feet height clearance along the public sidewalk

(2) Buildable Area.

- a. **Side Yard Setback.** The minimum required setback along a side lot line.
 - i. **Impervious Surfaces Prohibited.** Impervious surfaces within a lot's side yard setback are prohibited except for connections to adjacent parking lots.
 - ii. **Parking Lot Connections.** One (1) drive, maximum 22 feet in width, connecting a lot's parking lot with an adjacent lot's parking lot is permitted.
- b. **Rear Yard Setback.** The minimum required setback along a rear lot line. The rear yard setback applies to principal buildings only.
- c. **Minimum and Maximum Lot Width.** The minimum and maximum width of a lot, measured at the front lot line.
- d. **Maximum Impervious Coverage.** The maximum percentage of a lot permitted to be covered by principal structures, accessory structures, pavement, and other impervious surfaces. Refer to Figure 27-1811(a)-2.
- f. **Additional Semi-Pervious Coverage.** The additional percentage of a lot which may be surfaced in a Semi-Pervious material. A green roof qualifies as a semi-pervious material.

(3) Parking Location, Loading & Access.

- a. **Parking Location.** The yard in which a parking lot or area and associated drive is permitted.
- b. **Service & Loading Facility Location.** The facade of the building on which access is permitted for servicing, loading, and unloading activities related to building uses. Refer to BMCC Sec. 6-1203 for off street loading requirements.
- c. **Entry for Parking within Building.** The facade of the building on which the entrance to interior parking may be located.
- d. **Vehicular Access.** The permitted means of vehicular ingress and egress to the lot.
 - i. Alleys, when present, shall always be the primary means of access. When alleys are not present, driveways may be permitted per Frontage Type and, if an alternative is available, shall not be located off a Primary Street. Refer to Figure 27-1817(e)-3 for a Primary Street Map.

(b) Height.

- (1) **Minimum and Maximum Overall Height.** (Refer to Figure 27-1811(b)-1). A required minimum and maximum overall height is provided for all Frontage Types and is measured as follows:

- a. **Minimum Overall Height.** The minimum overall height for the building shall be located within the build-to zone; stories above the required minimum height may be stepped back from the facade.

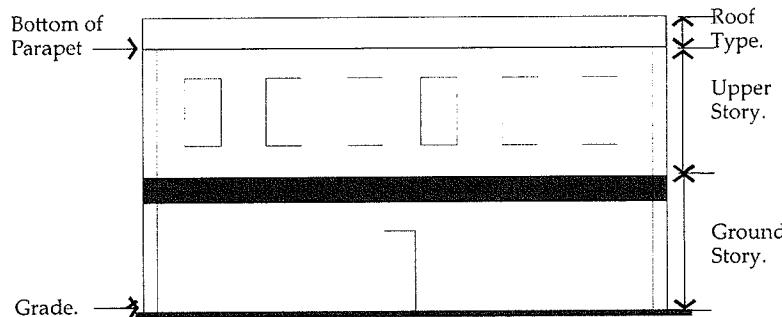
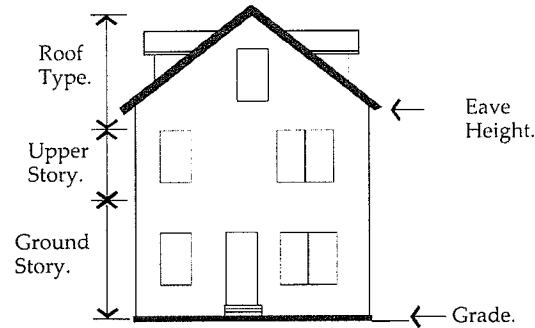


Figure 27-1811(b)-1. Measuring Height.



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b. **Height in Stories.** The sum of a building's stories.

- Half stories are located either completely within the roof structure with street-facing windows or in a visible basement exposed a maximum of one half (1/2) story above grade.
- A building incorporating both a half story within the roof and a visible

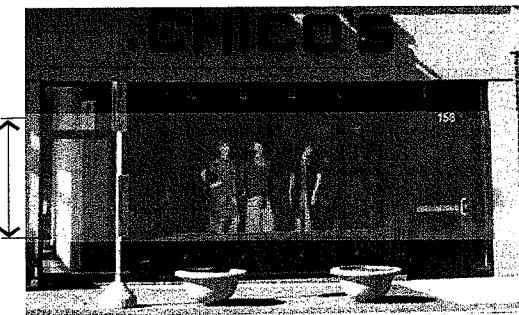
basement shall count the height of the two half stories as one (1) full story.

- Some Frontage Types require a building facade to step back as its height increases. If required, the upper stories of any building facade with street frontage shall be setback a designated amount beyond the building facade of the lower stories.

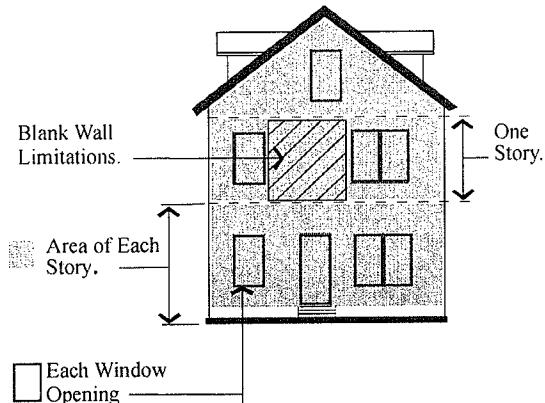
(2) **Ground Story and Upper Story Minimum and Maximum Height.** (Refer to Figure 27-1811(b)-1). Each Frontage Type includes a permitted range of height in feet for each story. Additional information is as follows:

- Floor height is measured in feet between the floor of a story to the floor of the story above it.
- Floor height requirements apply only to street facing facades.
- For single story buildings and the uppermost story of a multiple story building, floor to floor height shall be measured from the floor of the story to the tallest point of the ceiling.

Measure
Percent of
Ground Story
Storefront
Transparency
between 2
and 8 feet
from the
sidewalk.



Measuring Ground Floor transparency on a Storefront base.



Measuring transparency on all floors.

Figure 27-1811(d)-1. Measuring Transparency per Facade.

(c) **Uses.**

- Ground and Upper Story.** The uses or category of uses which may occupy the ground and upper story of a building. Refer to BMCC Sec. 27-1806 Uses.
- Parking Within Building.** The area(s) of a building in which parking is permitted within the structure.
- Occupied Space.** The area(s) of a building that shall be designed as occupied space (refer to Definitions, BMCC Sec. 27-1805)

(d) **Street Facade Requirements.**

- Transparency.** (Refer to Figure 27-1811(d)-1). Measurement of the percentage of a facade that has clear, non-reflective windows.
 - Minimum Transparency.** The minimum amount of transparency permitted on facades with street frontage, measured per story or per facade, depending on the Frontage Type.
 - Blank Wall Limitations.** A restriction of the amount of windowless area permitted on a facade with street frontage. If required, the following shall be met:

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- i. No rectangular area greater than thirty (30) percent of a story's facade, as measured from floor to floor, may be windowless; and
- ii. No horizontal distance greater than fifteen (15) feet of a story's facade may be windowless.

(2) Building Entrance.

- a. **Principal Entrance Location.** The facade on which the primary building entrance is to be located.
- b. **Entrance Type.** The Entrance Type(s) permitted on any street facing facade of a given Frontage Type. Refer to BMCC Sec. 27-1809 Entrance Types for specific requirements.
- b. **Street Facades: Number of Entrances.** The maximum spacing between entrances on a building facade with street frontage.
- c. **Parking Lot Facades: Number of Entrances.** The maximum spacing between entrances on a building facade that faces a parking lot.

(3) Roof Type.

- a. **Roof Type.** The Roof Type(s) permitted for a given Frontage Type. Refer to BMCC Sec. 27-1810 Roof Types for more specific requirements.
- b. **Tower.** A vertical building extension that may be permitted in conjunction with another Roof Type on certain Frontage Types. Refer to BMCC Sec. 27-1810 Roof Types.

(4) Facade Divisions.

- a. **Vertical Increments.** The use of a vertically oriented expression line or form to divide the facade into increments no greater than the dimension shown, as measured along the base of the facade. Elements may include a column, pilaster, or other continuous vertical ornamentation a minimum of one and a half inch depth.
- b. **Horizontal Facade Divisions.** The use of a horizontally oriented expression line or form to divide portions of the facade into horizontal divisions. Elements may include a cornice, belt course, molding, string courses, or other continuous horizontal ornamentation a minimum of one and a half inch depth.

(4) **Balconies.** The following requirements pertain to balconies on building facades with street frontage.

- a. **Size.** The minimum dimensions of a permitted balcony.
- b. **Facade Coverage.** The percentage of a facade's total area that is permitted to be covered by balconies, including street facing railing and balcony structure.
- c. **Access to Balcony.** The number of units that are permitted to gain entry to an individual balcony.
- d. **Structure.** Requirements related to the construction of a balcony. Two types of balcony structures are permitted:
 - i. Independently secured balconies are those that are connected directly to the building and are unconnected to other balconies.
 - ii. Balconies that are integral to the facade are a part of, and built in conjunction with, the building structure.

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Sec. 27-1812 Street Facade Materials.

The following applies to all facades visible from any street on all Frontage Types with the exception of the Open Frontage Type.

- (a) Permitted Facade Materials. Building materials that are permitted include durable, natural materials such as clay or terracotta tiles, stone, brick, stucco, concrete, and metal. Cast stone is permitted. Painted or stained wood, and burnished and/or split face colored concrete masonry units are permitted as no more than 35% of street facing facade.
- (b) Permitted Upper Story Facade Materials. In addition to the Permitted Facade Materials defined in Sec.27-1812(a), exterior insulation and finishing systems (EIFS) is permitted on upper stories.
- (c) Materials to Avoid. Building materials that are discouraged on any street facing facade include imitation materials intended to look like natural materials; sheet materials intended to look like units; and residential grade windows and doors on all Frontage Types except the Yard Frontage.
- (d) Prohibited Materials on Street Facing Facades. Building materials that are not permitted on building facades that are visible from any street include bricks more than 3-5/8" in height, and untreated wood.

Sec. 27-1813 Frontage Types.

The Frontage Types on the following pages apply to all development in the EBURD. Refer to Sec. 27-1808 for the Introduction to Frontage Types.

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Sec. 27-1813(a). Frontage Types: Yard

(1) Building Siting

a. Street Frontage	Permitted
Multiple Principal Buildings	Permitted
Front Lot Line Coverage	65% minimum ¹
Occupation of Corner	Required
Front Build-to Zone	5' to 15'
Corner Build-to Zone	5' to 10'
Right-of-Way Encroachment	None

b. Buildable Area

Side Yard Setback	0', minimum 10' between buildings or sets of attached units
Rear Yard Setback	5'; 0' with Alley
Minimum Lot Width	25'
Maximum Lot Width	60' for single family only; None for attached
Maximum Building Length	8 attached units
Maximum Impervious Coverage	80%
Additional Semi-Pervious Coverage	15%

c. Parking Location, Loading & Access

Parking Location	Rear Yard
Loading Facility Location	None
Entry for Parking within Building	Rear Facade
Vehicular Access	From Alley; If no Alley exists, up to one (1) driveway per building or set of attached units ²

Notes:

¹ When townhouses, each attached townhouse unit shall meet all requirements, except one of every five units may front a courtyard with a minimum width of 30'.

² For parcels with a street frontage longer than 300' and no Alley, two (2) driveways are permitted.

(3) Uses (refer to BMCC Sec. 27-1806)

All Stories	Residential, General Service, Office only
Parking within Building	Permitted in the rear of all floors and fully in any basement(s)
Occupied Space	30' depth space on front facade
Accessory Structures	Permitted per Sec. 27-1808(f).

(4) Street Facade Requirements

a. Transparency

Minimum Transparency	15%, per floor
Blank Wall Limitations	Required

b. Building Entrance

Principal Entrance Location	Front or Corner of Building
Entrance Type (refer to Sec. 27-1809)	Stoop, Porch

Street Facades: Number of Entrances	Minimum 1 per building
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Parking Lot Facades: Number of Entrances	N/A
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c. Roof Type

Roof Type (refer to Sec. 27-1810)	Parapet, Flat, or Pitched
Tower	Permitted

d. Facade Divisions

Vertical Increments	No greater than 50'
Horizontal Expression Line	None required except by Roof Type

c. Balconies

Size	Minimum 3' deep and 5' wide
Facade Coverage	Maximum 40% of Front & Corner Side Facades, separately

Access to Balcony	Maximum one (1) dwelling unit
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Structure	Independently secured and unconnected to other balconies; or integral to the Facade
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(2) Height

Minimum Overall Height	1 Story; 2 Stories preferred
Maximum Overall Height	3 Stories
Stories: Minimum Height	9'
Maximum Height	14'

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Sec. 27-1813(a). Frontage Types: Yard

Frontage Type	Permitted in these EBURD Districts
Rail Spur Village	Main Street
Rail Spur Village	Central Works
North 13th Street	Industrial Sanctuary

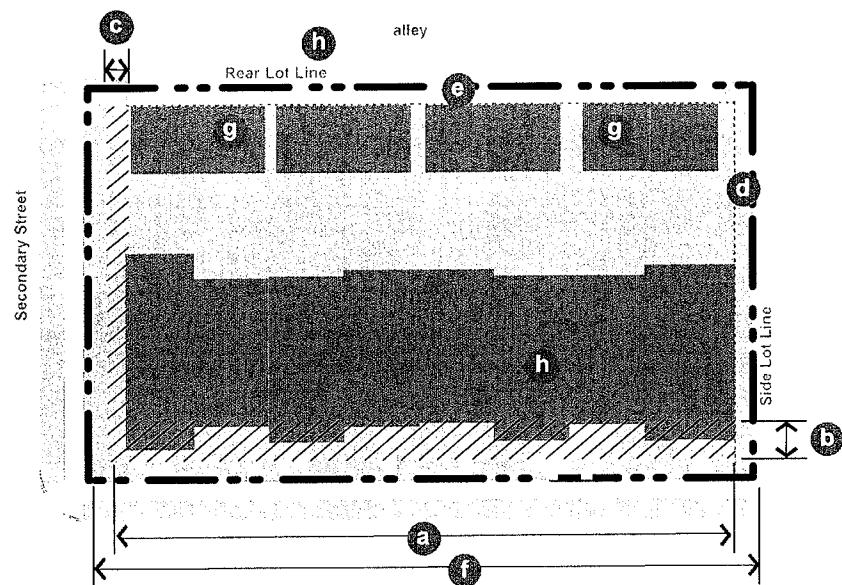


Figure 27-1813(a)-1: Building Siting.

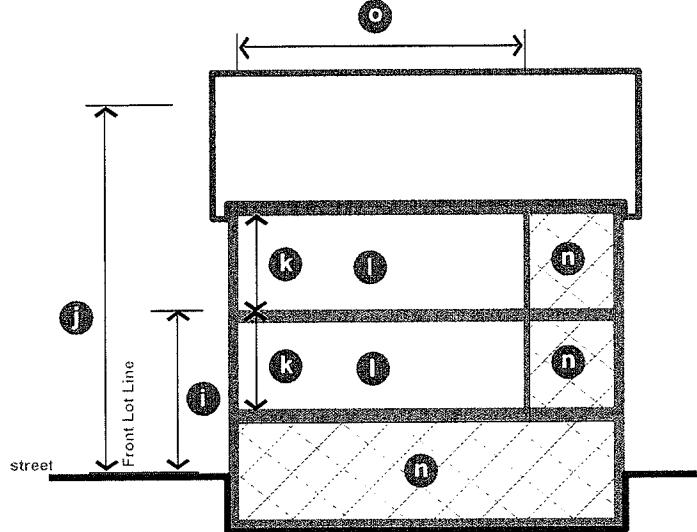


Figure 27-1813(a)-2: Height & Use Requirements.

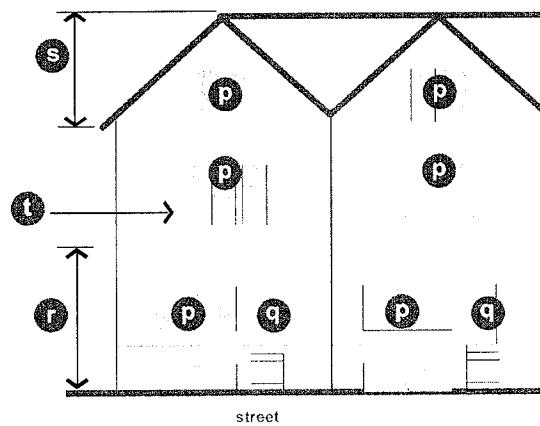


Figure 27-1813(a)-3: Street Facade Requirements.

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Sec. 27-1813(b). Frontage Types: General Stoop

(1) Building Siting

a. Street Frontage	
Multiple Principal Buildings	Not Permitted
Front Lot Line Coverage	85% minimum ¹
Occupation of Corner	Required
Front Build-to Zone	0' to 10'
Corner Build-to Zone	0' to 10'
Right-of-Way Encroachment	Eaves, Awnings, Canopies
b. Buildable Area	
Side Yard Setback	3'
Rear Yard Setback	5'; 0' with Alley
Maximum Impervious Coverage	75%
Additional Semi-Pervious Coverage	20%
c. Parking Location, Loading & Access	
Parking Location	Rear Yard
Service & Loading Facility Location	Rear Facade
Entry for Parking within Building	Rear Facade or Side Facade
Vehicular Access	From Alley; If no Alley exists, one (1) driveway off a side or corner side yard ²

Notes:

¹ A courtyard covering up to 35 percent of the front facade is permitted and may contribute to the Front Lot Line Coverage requirement.

² For parcels with a street frontage longer than 300' and no Alley, two (2) driveways are permitted.

(2) Height

Minimum Overall Height	2 Stories
Maximum Overall Height	6 Stories ³
Floor to Floor Story Height: Minimum Height	9'

Maximum Height
14'

Notes:

³ Above the fourth story, the upper stories of any building facade with street frontage shall have a step back from the lower stories that is a minimum of 6' and a maximum of 12'.

(3) Uses (refer to BMCC Sec. 27-1806)

Ground and Upper Stories	All permitted uses by district
Parking within Building	Permitted in the Rear of all Floors and fully in any Basement(s)
Occupied Space	30' depth space on front facing facade
Accessory Structures	Permitted per Sec. 27-1808(f).

(4) Street Facade Requirements

a. Transparency	
Minimum Transparency	15%, per floor
Blank Wall Limitations	Required
b. Building Entrance	
Principal Entrance Location	Front, Corner Side, or Corner of Building
Entrance Type	Stoop, minimum 6' wide and 3' deep
Street Facades: Number of Entrances	1 per 75' of Facade
c. Roof Type	
Roof Type (refer to Sec. 27-1810)	Parapet, Flat, or Pitched
Tower	Permitted
d. Facade Divisions	
Vertical Increments	No greater than 50'
Horizontal Expression Line	Required within 3' of top of ground story on buildings taller than 3 stories
e. Balconies	
Size	Minimum 3' deep and 5' wide
Facade Coverage	Maximum 40% of Front & Corner Side Facades, separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the Facade

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Sec. 27-1813(b). Frontage Type Standards: General Stoop

Frontage Type	Permitted in these EBURD Districts
Rail Spur Village Main Street	Rail Spur Village
General Stoop	Central Works
	North 13th Street
	Industrial Sanctuary

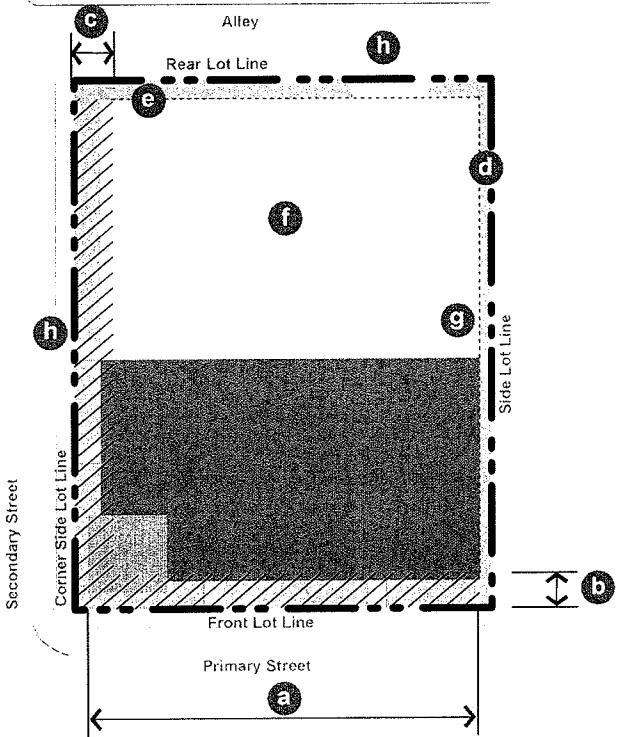


Figure 27-1813(b)-1: Building Siting.

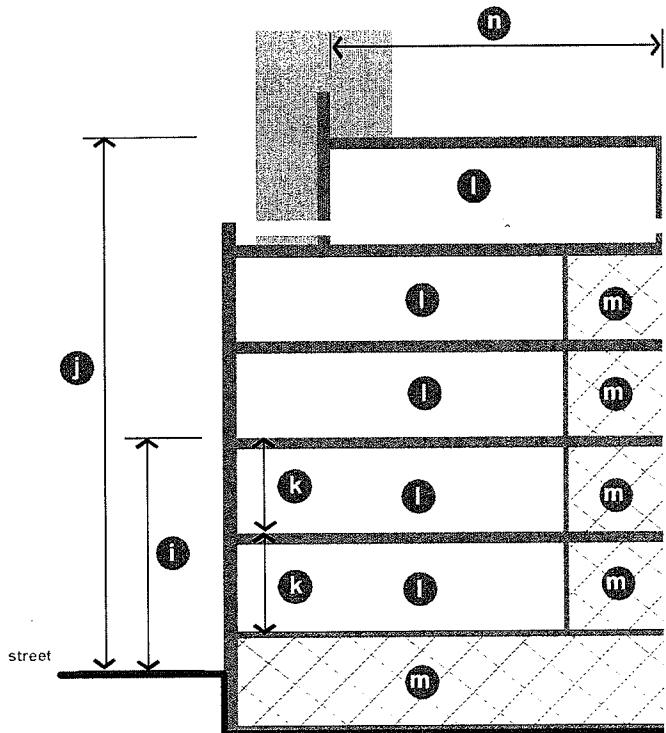


Figure 27-1813(b)-2: Height & Use Requirements.

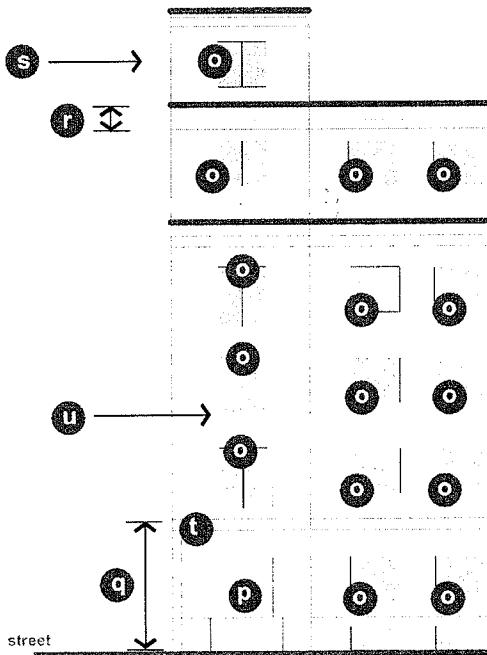


Figure 27-1813(b)-3: Street Facade Requirements.

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Sec. 27-1813(c). Frontage Type Standards: Storefront

(1) Building Siting

a. Street Frontage	
Multiple Principal Buildings	Not Permitted
Front Lot Line Coverage	95% minimum a
Occupation of Corner	Required
Front Build-to Zone	0' to 5' ¹ b
Corner Build-to Zone	0' to 5' c
Right-of-Way Encroachment	Eaves, Awnings, Canopies

b. Buildable Area

Side Yard Setback	0' d
Rear Yard Setback	5'; 0' with Alley e
Minimum Lot Width	25' f
Maximum Lot Width	None

c. Parking Location, Loading & Access

Parking Location	Rear Yard g
Service & Loading Facility Location	Rear Facade h
Entry for Parking within Building	Rear Facade
Vehicular Access	From Alley; If no Alley exists, one (1) driveway off a side or corner side yard ² i

Notes:

¹Areas within the Front Build-to Zone not occupied by building shall be paved to match adjacent walk.

² For parcels with a street frontage longer than 300' and no Alley, two (2) driveways are permitted.

(3) Uses (refer to BMCC Sec. 27-1806)

Ground Story	Library/Museum, Post Office, General Retail, General Service, Office, Craftsman Industrial n
Upper Story	All uses permitted by district o
Parking within Building	Permitted in the Rear of all Floors and fully in any Basement(s) p
Occupied Space	30' depth space facing Primary Street q
Accessory Structures	Permitted per Sec. 27-1808(f).

(4) Street Facade Requirements

a. Transparency	
Ground Floor: Minimum Transparency	75%, measured between 2' and 8' from sidewalk elevation r
Upper Floor: Minimum Transparency	20%, per floor s
Blank Wall Limitations	Required

b. Building Entrance

Principal Entrance Location	Front or Corner of Building t
Entrance Type (refer to Sec. 27-1809)	Storefront u
Street Facades: Number of Entrances	1 per 75' of Facade

c. Roof Type

Parking Lot Facades: Number of Entrances	N/A
Roof Type (refer to Sec. 27-1810)	Parapet, Flat, Pitched, or Barrel

d. Facade Divisions

Vertical Increments	No greater than 30'
Horizontal Expression Line	Required within 3' of top of ground story

e. Balconies

Size	Minimum 3' deep and 5' wide x
Facade Coverage	Maximum 40% of Front & Corner Side Facades, separately

Access to Balcony	Maximum one (1) Dwelling Unit
Structure	Independently secured and unconnected to other balconies; or integral to the Facade

(2) Height

Minimum Overall Height	2 Stories j
Maximum Overall Height	6 Stories ³ k
Ground Story: Minimum Height	14' l
Maximum Height	24' ⁴ l

Upper Stories: Minimum Height	9' m
Maximum Height	14' m

Notes:

³ Above the fourth Story, the Upper Stories of any building Facade with Street Frontage shall have a step back from the lower Stories that is a minimum of 6' and a maximum of 12'.

⁴If 18' or more in height, Ground Story shall count as 2 Stories towards maximum building height.

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Sec. 27-1813(c). Frontage Type Standards: Storefront

Frontage Type	Permitted in these EBURD Districts
Rail Spur Village Main Street	●
Rail Spur Village	●
Central Works	●
North 13th Street	●
Industrial Sanctuary	●
Storefront	●

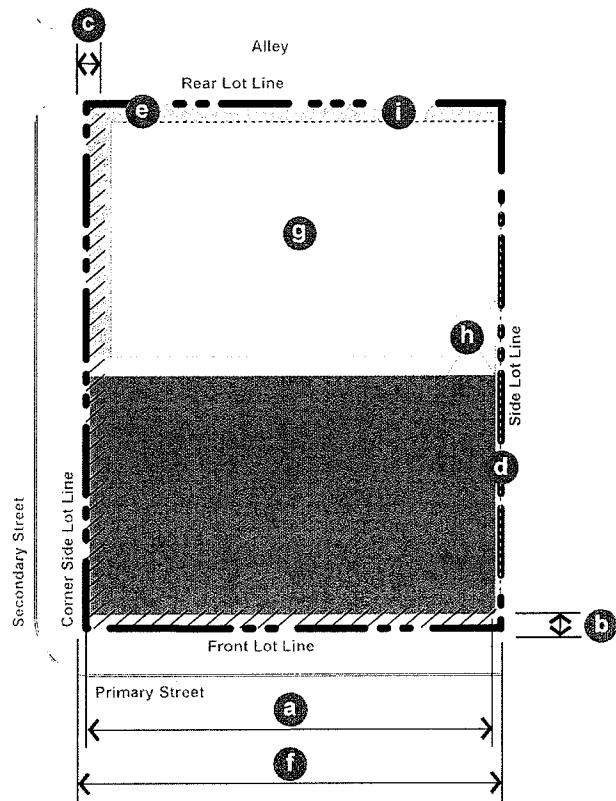


Figure 27-1813(c)-1: Building Siting.

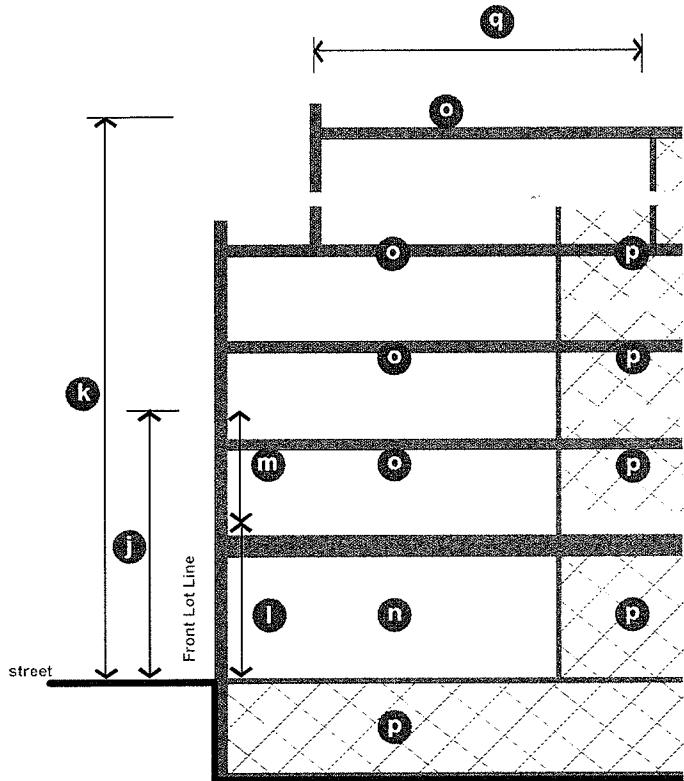


Figure 27-1813(c)-2: Height & Use Requirements.

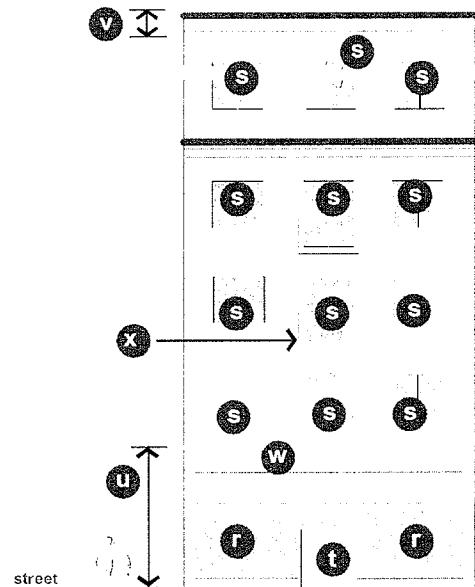


Figure 27-1813(c)-2: Street Facade Requirements.

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Sec. 27-1813(d). Frontage Type Standards: Limited Bay

(1) Building Siting		(3) Uses (refer to Sec. 27-1806)	
a. Street Frontage		Ground and Upper Stories	All uses permitted by district
Multiple Principal Buildings	Not Permitted	Parking within Building	Permitted in the Rear of all Floors and fully in any Basement(s) p
Front Lot Line Coverage	95% minimum, parking exception ¹ a	Occupied Space	30' depth space facing Primary Street q
Occupation of Corner	Required	Accessory Structures	Permitted per Sec. 27-1808(f).
Front Build-to Zone	0' to 10' b		
Corner Build-to Zone	0' to 10' c		
Right-of-Way Encroachment	Awnings & canopies		
b. Buildable Area			
Side Yard Setback	0' d		
Rear Yard Setback	5'; 0' with Alley e		
Minimum Lot Width	25' f		
Maximum Lot Width	None		
Maximum Impervious Coverage	90%		
Additional Semi-Pervious Coverage	10% g		
c. Parking Location, Loading & Access			
Parking Location	Rear Yard; Limited Side Yard ¹ g		
Service & Loading Facility Location	Rear or Side Facade; Limited Front or Corner Side Facade ² h		
Entry for Parking within Building	Rear & Side Facades; Limited Front or Corner Side Facade ²		
Vehicular Access	From Alley; or up to one (1) driveway per street frontage ³ i		
Notes:			
¹ Lots wider than 140' are permitted 1 double-loaded aisle of parking (maximum width of 65'), located perpendicular to street, which is exempt from front lot line coverage calculation n			
² One bay is permitted on either the front or corner side facade, maximum width 20', for either loading or parking entry. o			
³ For parcels with a street frontage longer than 300' and no Alley, two (2) driveways are permitted. p			
(2) Height		(4) Street Facade Requirements	
Minimum Overall Height	1 Story; 2 Stories preferred j	a. Transparency	
Maximum Overall Height	6 Stories ⁴ k	Ground Floor: Minimum Transparency	50%, measured between 2' and 8' from sidewalk elevation l
Ground Story: Minimum Height	15' l	Upper Floor Minimum Transparency	20%, per floor s
Maximum Height	24' ⁵ l	Blank Wall Limitations	Required
Upper Stories: Minimum Height	9' m	b. Building Entrance	
Maximum Height	14' m	Principal Entrance Location	Front, Corner Side, or Corner of Building t
		Entrance Type (refer to Sec. 27-1809)	Storefront u
		Street Facades: Number of Entrances	1 per 75' of Facade v
		Parking Lot Facades: Number of Entrances	1 per 100' of Facade w
		c. Roof Type	
		Roof Type (refer to Sec. 27-1810)	Parapet, Flat, Pitched, or Barrel x
		Tower	Permitted y
		d. Facade Divisions	
		Vertical Increments	No greater than 50' z
		Horizontal Expression Line	Required within 3' of top of ground story w
		e. Balconies	x
		Size	Minimum 3' deep and 5' wide z
		Facade Coverage	Maximum 40% of Front & Corner Side Facades, separately w
		Access to Balcony	Maximum one (1) Dwelling Unit y
		Structure	Independently secured and unconnected to other balconies; or integral to the Facade x

Notes:

⁴ Above the fourth story, the upper stories of any building facade with street frontage shall have a step back from the lower Stories that is a minimum of 6' and a maximum of 12'

⁵If 18' or more in height, Ground Story shall count as 2 Stories towards maximum building height.

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Sec. 27-1813(d). Frontage Type Standards: Limited Bay

Frontage Type	Permitted in these EBURD Districts
Rail Spur Village Main Street	
Rail Spur Village	●
Central Works	●
North 13th Street	●
Industrial Sanctuary	●
Limited Bay	●

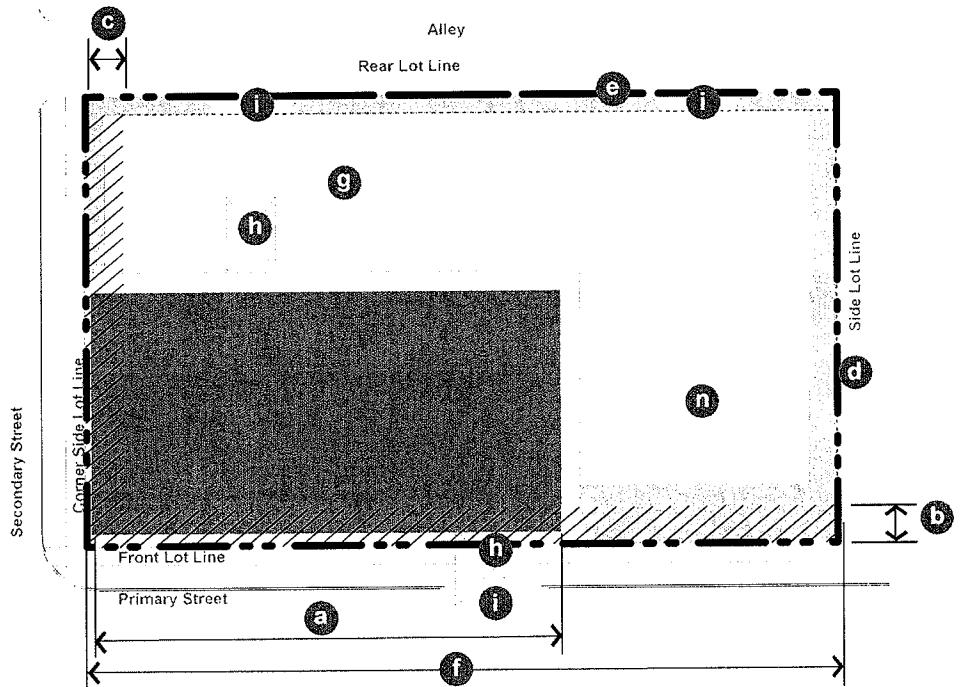


Figure 27-1813(d)-1: Building Siting.

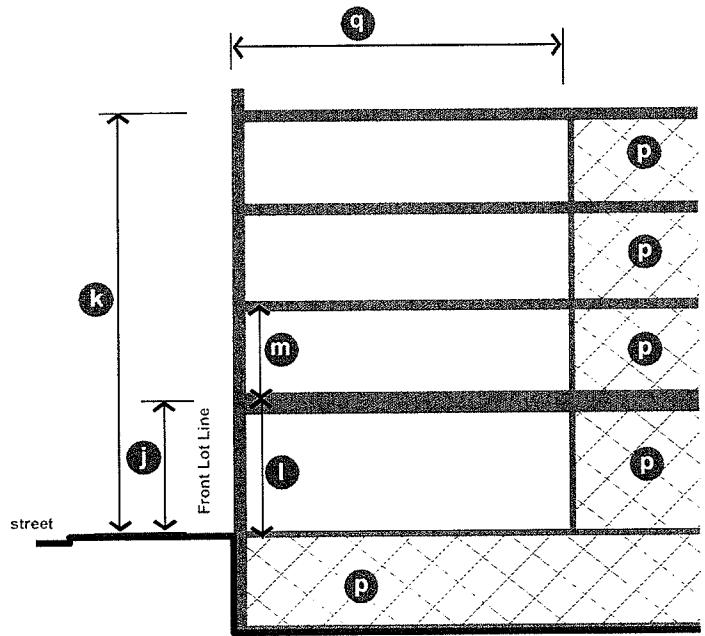


Figure 27-1813(d)-2: Height & Use Requirements.

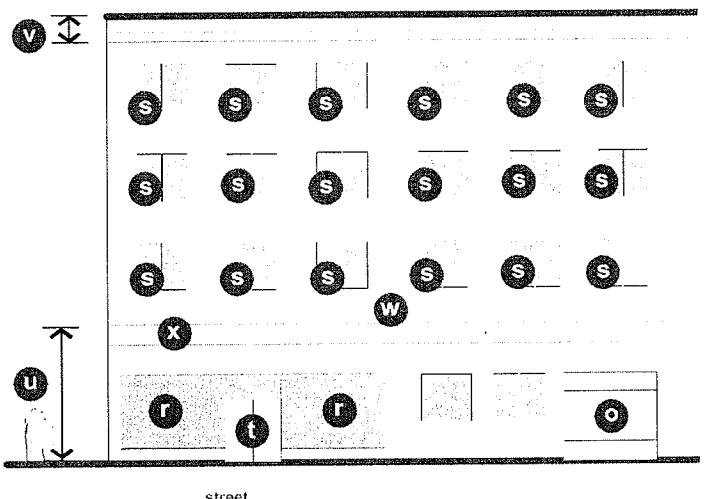


Figure 27-1813(d)-3: Street Facade Requirements.

Article 27-1800. East Billings Urban Revitalization District Code

Sec. 27-1813(e). Frontage Type Standards: Commerce

(1) Building Siting

a. Street Frontage	
Multiple Principal Buildings	Permitted
Front Lot Line Coverage	45% minimum a
Occupation of Corner	Required; Fuel stations are exempt
Front Build-to Zone	5' to 20' b
Corner Build-to Zone	5' to 20' c
Right-of-Way Encroachment	None

b. Buildable Area

Side Yard Setback	5' d
Rear Yard Setback	5'; 0' with Alley e
Minimum Lot Width	50' f
Maximum Lot Width	None

c. Parking Location, Loading & Access

Parking Location	Rear & Side Yards g
Service & Loading Facility Location	Rear & Side Facades h
Entry for Parking within Building	Rear & Side Facades
Vehicular Access	From Alley; if no Alley exists, one (1) driveway per street frontage ¹ i

Notes:

¹ For parcels with a street frontage longer than 300' and no Alley, two (2) driveways are permitted.

(3) Uses (refer to BMCC Sec. 27-1806)

Ground and Upper Stories	All uses per district n
Parking within Building	Permitted in the Rear of all Floors and fully in any Basement(s) o
Occupied Space	30' depth space facing Primary Street or space on front Facade q
Accessory Structures	Permitted per Sec. 27-1808(f). r

(4) Street Facade Requirements

a. Transparency

Ground Floor: Minimum Transparency	35%, measured between 2' and 8' from sidewalk elevation r
Upper Floor Minimum Transparency	15%, per floor
Blank Wall Limitations	No greater than 50% of facade and no wider than 30' s

b. Building Entrance

Principal Entrance Location	Front, Corner Side, or Corner of Building t
Entrance Type (refer to Sec. 27-1809)	Storefront, or Stoop
Street Facades: Number of Entrances	1 per 75' of Facade u
Parking Lot Facades: Number of Entrances	1 per 100' of Facade

c. Roof Type

Roof Type (refer to Sec. 27-1810)	Parapet, Flat, Pitched, or Barrel v
Tower	Permitted w

d. Facade Divisions

Vertical Increments	No greater than 50'
Horizontal Expression Line	Required within 3' of top of ground story x

e. Balconies

Size	Minimum 3' deep and 5' wide y
Facade Coverage	Maximum 40% of Front & Corner Side Facades, separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the Facade

(2) Height

Minimum Overall Height	1 Story; 2 Stories preferred j
Maximum Overall Height	6 Stories ² k
Ground Story: Minimum Height	15' l
Maximum Height	20' ³ m

Notes:

² Above the fourth story, the upper stories of any building facade with street frontage shall have a step back from the lower Stories that is a minimum of 6' and a maximum of 12'

³If 18' or more in height, Ground Story shall count as 2 Stories towards maximum building height

Article 27-1800. East Billings Urban Revitalization District Code

Sec. 27-1813(e). Frontage Type Standards: Commerce

Frontage Type	Permitted in these EBURD Districts
Rail Spur Village Main Street	
Rail Spur Village	
Central Works	
North 13th Street	
Industrial Sanctuary	●
Commerce	○

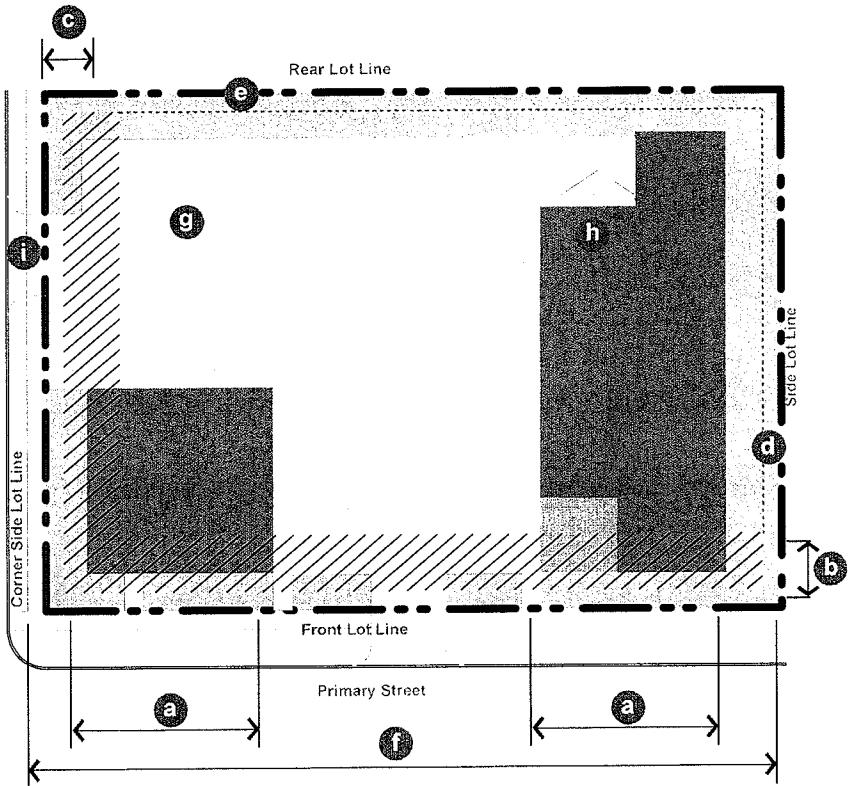


Figure 27-1813(e)-1: Building Siting.

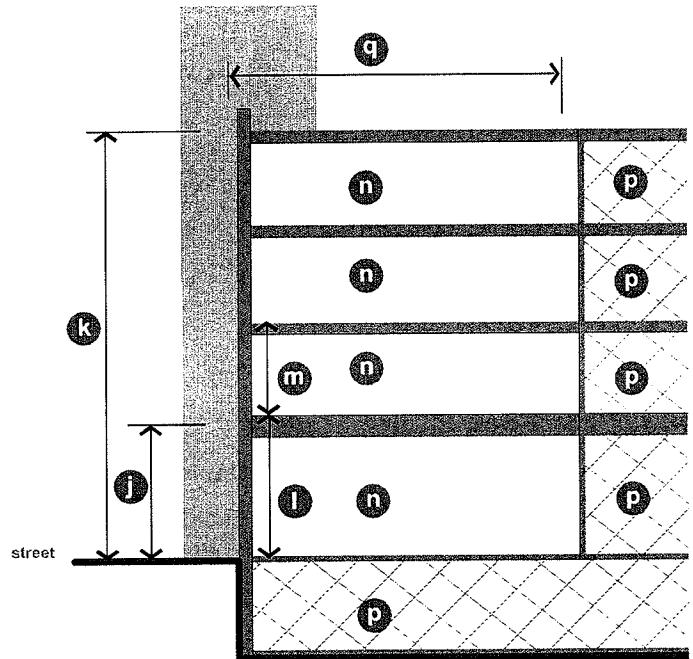


Figure 27-1813(e)-2: Height & Use Requirements.

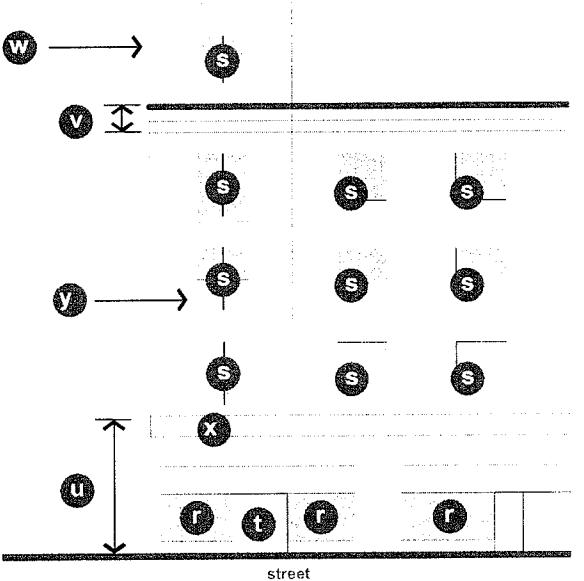


Figure 27-1813(e)-3: Street Facade Requirements.

Article 27-1800. East Billings Urban Revitalization District Code

Sec. 27-1813(f). Frontage Type Standards: Open

(1) Building Siting

a. Street Frontage	
Multiple Principal Buildings	Permitted
Front Lot Line Coverage	N/A
Occupation of Corner	Encouraged
Front Setback	10'
Corner Setback	5'
Right-of-Way Encroachment	None

b. Buildable Area

Side Yard Setback	5'
Rear Yard Setback	5'; 0' with Alley
Minimum Lot Width	50'
Maximum Lot Width	None

Maximum Impervious Coverage	85%
Additional Semi-Pervious Cover.	15%

c. Parking Location, Loading & Access

Parking Location	All Yards; Rear Yard; & Side Yard preferred
Loading Facility Location	Front, Rear & Side Facades
Entry for Parking within Building	Front, Rear & Side Facades
Vehicular Access	From Alley; or up to two (2) driveway per street frontages, minimum 50' apart

(3) Uses (refer to BMCC Sec. 27-1806)

Ground and Upper Stories	Only Industrial Uses permitted
Parking within Building	Permitted in all floors
Occupied Space	30' depth space facing Primary Street
Accessory Structures	Permitted per Sec. 27-1808(f).

(4) Street Facade Requirements

a. Transparency	
Minimum Transparency	5%
Blank Wall Limitations	Not Required
b. Building Entrance	
Principal Entrance Location	Not Required
Entrance Type (refer to Sec. 27-1809)	Not Required
Street Facades: Number of Entrances	Not Required
Parking Lot Facades: Number of Entrances	Not Required
c. Roof Type	
Roof Type (refer to Sec. 27-1810)	Not Required
Tower	Not Permitted
d. Facade Divisions	
Vertical Increments	Not Required
Horizontal Expression Line	Not Required

(2) Height

Minimum Overall Height	1 Story
Maximum Overall Height	6 Stories ¹
Ground Story: Minimum Height	9'
Maximum Height	20' ²
Upper Stories: Minimum Height	9'
Maximum Height	15'

Notes:

¹Above the fourth story, the upper stories of any building facade with street frontage shall have a step back from the lower Stories that is a minimum of 6' and a maximum of 12'

²If 14' or more in height, Ground Story shall count as 2 to Stories towards maximum overall height.

Article 27-1800. East Billings Urban Revitalization District Code

Sec. 27-1813(f). Frontage Type Standards: Open

Frontage Type	Permitted in these EBURD Districts
Rail Spur Village Main Street	
Rail Spur Village	
Central Works	
North 13th Street	
Industrial Sanctuary	
Open Frontage	

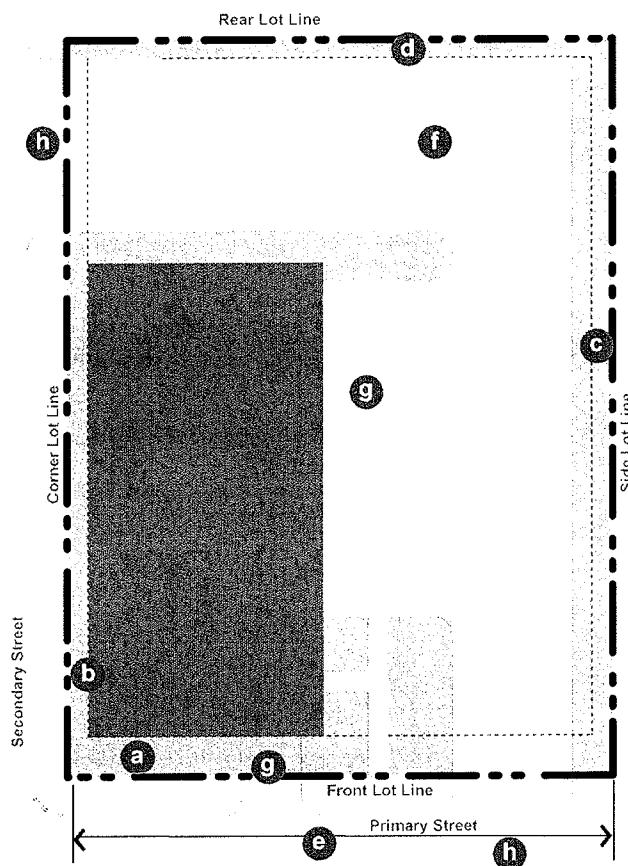


Figure 27-1813(f)-1: Building Siting.

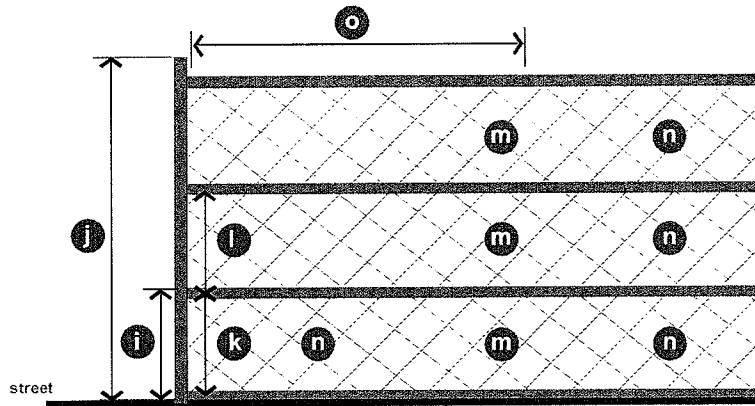


Figure 27-1813(f)-2: Height & Use Requirements.

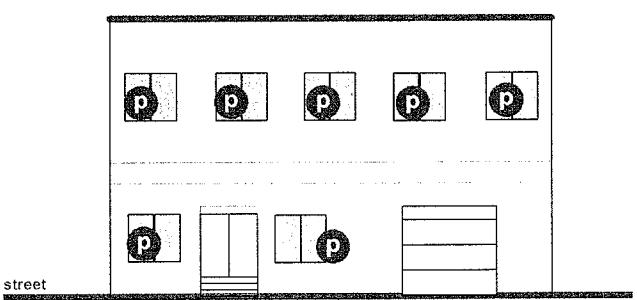


Figure 27-1813(f)-3: Street Facade Requirements.

Article 27-1800. East Billings Urban Revitalization District Code

Sec. 27-1813(g). Frontage Type Standards: Civic Building

(1) Building Siting

a. Street Frontage	
Multiple Principal Buildings	Permitted
Front Lot Line Coverage	N/A
Occupation of Corner	Required
Front Setback	5'
Corner Setback	5'
Right-of-Way Encroachment	None
b. Buildable Area	
Side Yard Setback	5'
Rear Yard Setback	5'; 0' with Alley
Minimum Lot Width	50'
Maximum Lot Width	None
Maximum Impervious Coverage	75%
Additional Semi-Pervious Cover.	15%
c. Parking Location, Loading & Access	
Parking Location	Rear Yard; & Side Yard ¹
Loading Facility Location	Rear & Side Facades
Entry for Parking within Building	Rear & Side Facades
Vehicular Access	From Alley; or up to one (1) driveway per secondary street frontage ²

Notes:

¹Lots wider than 140' are permitted 1 double-loaded aisle of parking (max. width of 65'), located perpendicular to the street

²For parcels with a street frontage longer than 300' and no Alley, two (2) driveways are permitted.

(2) Height

Minimum Overall Height	1 Story; 2 Stories preferred
Maximum Overall Height	6 Stories ³
Ground Story: Minimum Height	9'
Maximum Height	30' ⁴
Upper Stories: Minimum Height	9'
Maximum Height	15'

Notes:

³Above the fourth Story, the Upper Stories of any building Facade with Street Frontage shall have a step back from the lower Stories that is a minimum of 6' and a maximum of 12'.

⁴If 20' or more in height, Ground Story shall count as 2 to Stories towards maximum overall height.

(3) Uses (refer to BMCC Sec. 27-1806)

Ground and Upper Stories	Only the Civic and Infrastructure uses are permitted.
Parking within Building	Permitted in the Rear of all Floors and fully in any Basement(s)
Occupied Space	30' depth space facing on front Facade
Accessory Structures	Permitted per Sec. 27-1808(f).

(4) Street Facade Requirements

a. Transparency	
Minimum Transparency	15%, per street facade
Blank Wall Limitations	Not Required
b. Building Entrance	
Principal Entrance Location	Not Required
Entrance Type (refer to Sec. 27-1809)	Stoop
Street Facades: Number of Entrances	Not Required
Parking Lot Facades: Number of Entrances	Not Required
c. Roof Type	
Roof Type (refer to Sec. 27-1810)	Parapet, Flat, or Pitched
Tower	Permitted
d. Facade Divisions	
Vertical Increments	No greater than 30'
Horizontal Expression Line	Not Required

Article 27-1800. East Billings Urban Revitalization District Code

Sec. 27-1813(g). Frontage Type Standards: Civic Building

Frontage Type	Permitted in these EBURD Districts
Rail Spur Village Main Street	●
Rail Spur Village	●
Central Works	●
North 13th Street	●
Industrial Sanctuary	●
Civic Frontage	● ● ● ● ●

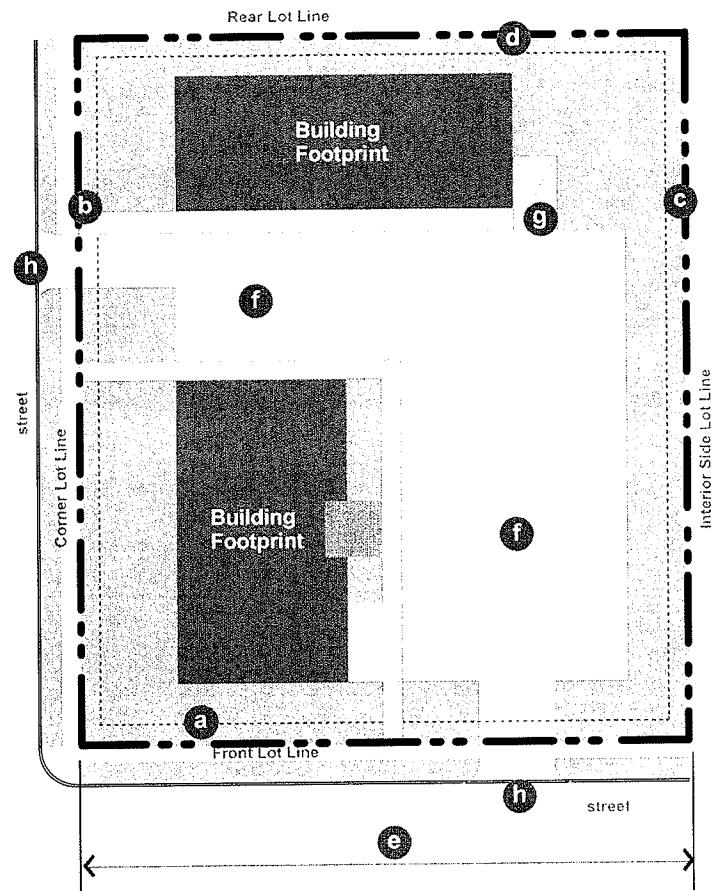


Figure 27-1813(g)-1: Building Siting.

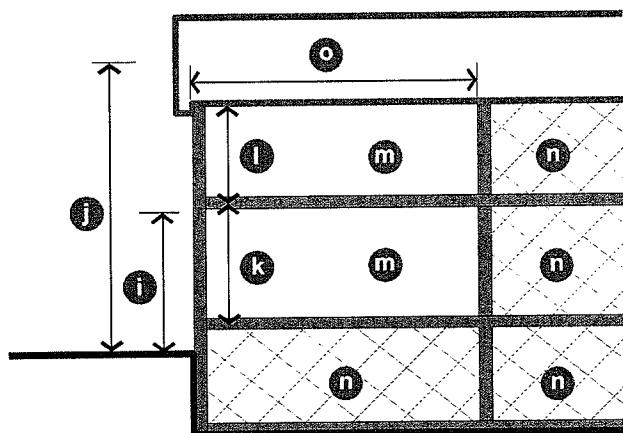


Figure 27-1813(g)-2: Height & Use Requirements.

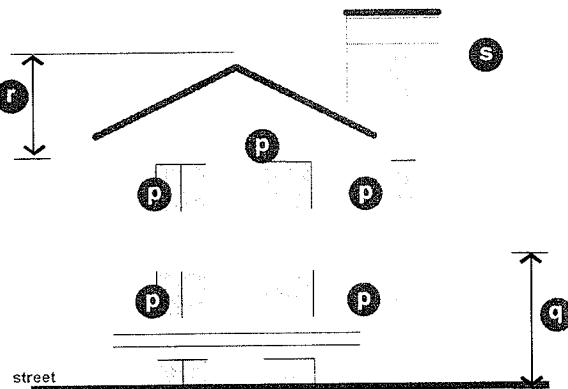


Figure 27-1813(g)-3: Street Facade Requirements.

Article 27-1800. East Billings Urban Revitalization District Code

Sec. 27-1813(h). Frontage Type Standards: Commercial Outdoor Site

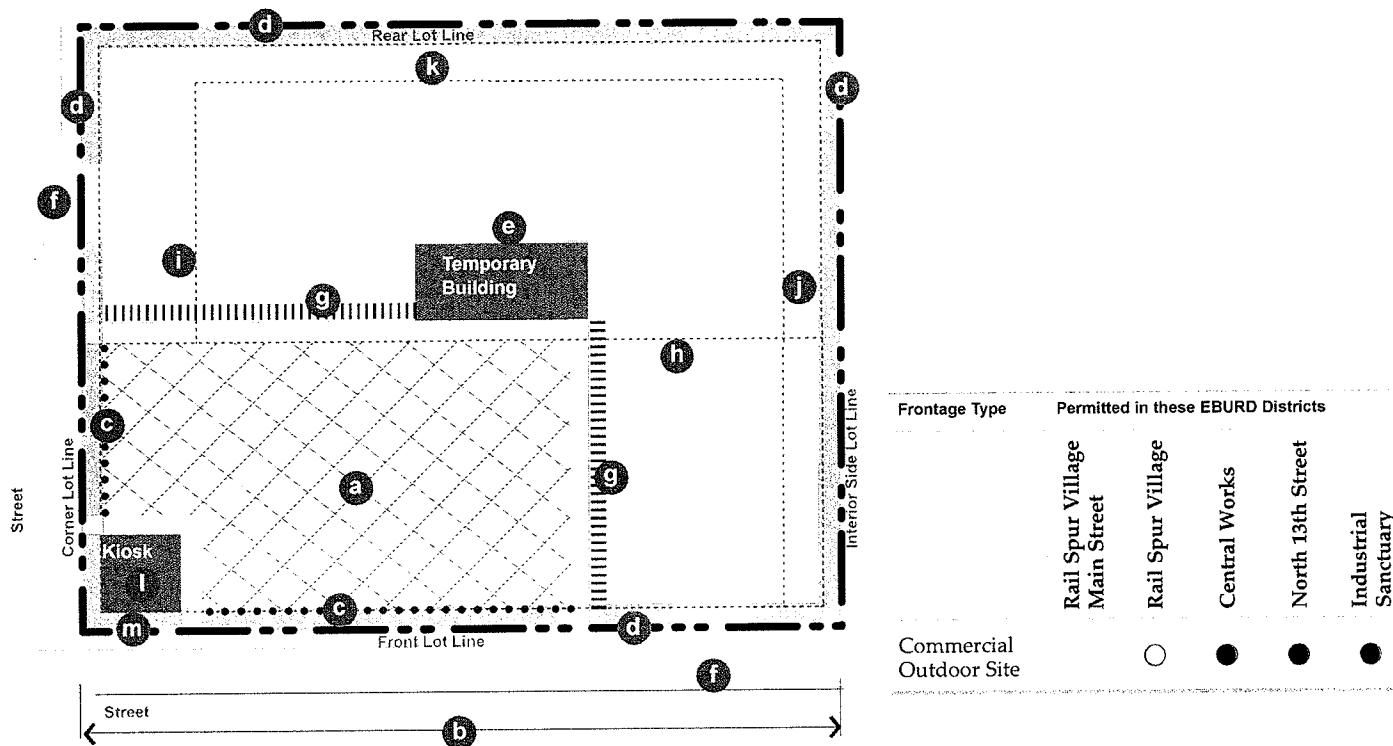


Figure 27-1813(h)-1: Building Siting.

(1) Site

a. Overall Site. The principal structure is a Patio/Display area.

Minimum Area of Unenclosed, Fully or Partially Paved Outdoor Activity/Display Area 45% of Parcel

Minimum Lot Width none
Maximum Lot Width 200'

Maximum Impervious Coverage 75%

Required Front & Corner Side Buffer Type Commercial Patio Buffer (Refer to Sec. 27-1815(k) Landscape Standards)¹

b. Parking Location, Loading & Access

Parking Setbacks: Front 75'
Corner, Side, Rear 5'

Parking & Loading Facility Location Behind the Rear of the Patio/Display and the Rear Facade of any Building²

Vehicular Access One driveway per street frontage

Required Buffer between Parking & Activity/Display Area Frontage Buffer (Refer to Sec. 27-1815(a))¹

Notes

¹ Exception: Not required for Automobile Sales Use.
² One double loaded aisle of parking (to a maximum width of 82 feet) is permitted in the Side Yard.

B. Accessory Buildings

Number of Permitted Accessory Buildings 2

Maximum Building Coverage 30%

1. Temporary Building

Front Yard Setback 75'

Corner Side Setback 30'

Side Setback 15'

Rear Setback 15'

2. Kiosk Building³

Front, Corner, Side, Rear Setback 5'

Maximum Size 500 square feet

Maximum Height 15'

Street Facade Transparency Minimum 20%

Roof Type Pitched

Notes

³ Kiosk is defined as a building with limited space for the proprietor and associated goods and no space for customers to enter the structure with the exception of any bathrooms.

C. Uses

Permitted Uses Retail & Wholesale Uses, Large Scale Entertainment Use

Article 27-1800. East Billings Urban Revitalization District Code

Sec. 27-1814. East Billings Parking Overlay District.

(a) Purpose. The purpose of the East Billings Parking Overlay District is to provide alternative off-street parking standards to encourage the development and re-development of property. The overlay zoning does not alter the category of permitted uses in the underlying zoning.

(b) District Boundaries. The boundaries of the East Billings Parking Overlay District shall be as follows:

Starting at the intersection of Montana Avenue and North 22nd Street, extending north down the centerline of North 22nd to the intersection of 3rd Avenue North, extending westerly down the centerline of 3rd Avenue North to the intersection of North 23rd Street, then northerly along the centerline of North 23rd Street to the intersection of 4th Avenue North, then westerly along the centerline of 4th Avenue North to the intersection of North 25th Street, then northerly along the centerline of North 25th Street to the intersection of 6th Avenue North, then easterly along the centerline of 6th Avenue North to the intersection of North 22nd Street, then northerly along the centerline of to the intersection of 8th Avenue North, extending east down the centerline of 8th Avenue North to the intersection of 8th Avenue North and North 19th Street, extending south down the centerline of North 19th Street to the intersection of North 19th Street and 7th Avenue North, extending east along the centerline of 7th Avenue North to the intersection of North 18th Street and 7th Avenue North, extending south down the centerline of North 18th Street to be perpendicular with the northern most edge of property line of LT 23 & 24 BLK 274 BILLINGS 1ST ADD, extending east along the Northern edge of LT 23 & 24 BLK 274 BILLINGS 1ST ADD, and hence eastward including in their entirety the southern most properties most directly adjacent to 6th Avenue North to the city boundary line including Lots 4-10 of Block 5 and the vacated 20 foot adjacent alley of North Park Subdivision, extending southerly and westerly along the city boundary lines to the northern edge of the rail road tracks,

extending west along the northern edge of the railroad tracks to the centerline of North 22nd Street, extending north along the centerline of North 22nd Street to the ending point at the intersection of Montana Avenue and North 22nd Street. Excluding the non-incorporated land that envelops the Empire Steel property LTS 3 TO 23 & VAC 10FT ADJ ALLEY & E 404T ADJ N 16TH ST BLK 258 & 259.

(c) Application of Regulations. Within this district, the regulations found within BMCC 24-480 and 24-490 as amended shall apply to all property within the East Billings Parking Overlay District. These regulations include but are not limited to the following:

- (1) No minimum off-street parking spaces are required at the time of development, redevelopment, expansion, change of use or addition to public, commercial, industrial or residential property.
- (2) Where off-street parking spaces are developed, the design of such spaces and parking lots shall meet the standards set forth in BMCC 6-1203(o) through 6-1203(u) and other design standards for off-street parking that are adopted policies of the City Engineer.
- (3) These regulations in no way diminish or reduce a property owner's liability or obligation to provide accessibility in compliance with the federal Americans with Disabilities Act (ADA) standards.

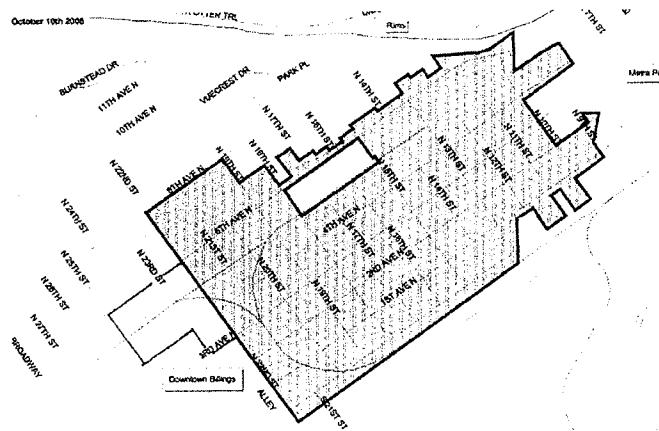


Figure 27-1814-1. Map of District Boundaries